

FW: Development on Moon Valley Rd.

1 message

Carmen Little

Thu, Aug 26, 2021 at 4:28

<carmenlittle@cableone.net>

PM

To: sullivan.hal@gmail.com

Hi Hal and Carolyn,

I am a resident of Riverstone and was happy to receive your letter regarding the new townhomes waiting to be approved at the end of Moon Valley Rd.

I emailed Mr. Nickel the email below today. Hoping you get a health turnout in opposition to the development.

Carmen

From: Carmen Little

Sent: Thursday, August 26, 2021 4:26 PM

To: 'snickel@staridaho.org' <snickel@staridaho.org>

Subject: Development on Moon Valley Rd.

Good Afternoon Mr. Nickel,

August 30, 2021

RECEIVED
AUG 30 2021
BY: BN

Shawn Nickel
Planning Director
10769 W. State Street
Star, Idaho. 83669

Re: Moon Valley Road Development


Dear Sir,

Our family has lived on Moon Valley Road for 27 years. My spouse and I work full time in Boise. We separately have morning and evening commutes via Hwy 44. This drive was never perfect but it also never included the 10-15 minute wait to get onto Hwy 44 that currently exists.

The church created a tremendous increase in noise and traffic on Moon Valley Road changing how this narrow two lane country road existed as a horse, bicycle, kids and family friendly road was used to a multitude of speeding vehicles congesting ALL three roads exiting to State Street to waiting lines of 4-5 vehicles.

Please help this community to retain what little 'country lane' appeal that we still have by postponing or denying the proposed application to increase this currently strained experience until a better access to Hwy 44 is created. It makes zero sense to create havoc to get to work for the sake of the almighty dollar. Wait until ACHD can work with Star to ease the mess of Hwy 44.

Thank you for considering this opinion.


Sharon and Dave Pearl
Moon Valley Residents

City of Star
10769 W. State St.
Star, Id. 83669

To: Shawn Nickel, Planning Director

RECEIVED
BY: BN

We've lived off Moon Valley Rd for 12 years. We have seen considerable more traffic in the last few years. It takes up to 15 minutes to access State St. in the mornings. With the growth of Star and the surrounding area you need considerable improvements in roads to handle all the traffic on State St. You have approved 268 houses on the end of Moon Valley Rd. and no improvements to access to or off Moon Valley Rd. We can't safely handle 200 to 300 more cars a day on Moon Valley Rd.

We oppose the application for 156 townhouses at the west end of Moon Valley Rd.

Sincerely, Dallen & Patricia Taylor
756 S. Silver Moon Lane
Eagle, Idaho 83616

Dallen Taylor
Patricia Taylor



Rivervine Homeowners Association

August 27, 2021

Shawn Nickel
Planning Director, City of Star
10769 W. State St.
Star, ID 83669

RECEIVED
AUG 30 2021
BY: BV

Subject: Moon Valley Townhomes Subdivision

Dear Mr. Nickle,

This letter is submitted on behalf of the members of the Rivervine Homeowners Association.

While our subdivision is not located in the City of Star, development in Star does affect our home values and quality of life. The subject subdivision proposed development is of significant concern to the HOA and has already affected our quality of living and may adversely affect our property values, if it proceeds as proposed.

Specifically, the density of an additional 156 townhomes, to the already 268 single family home development to the East, will result in approximately 4240 vehicle trips per day to the existing roadways. These roadways, Moon Valley Road, Short Rd. and Palmer Ln are all narrow two lane country roads that intersect with State Hwy 44, which is also two lanes, plus a turn lane.

Vehicular egress from Moon Valley to Hwy 44, East or West, has become a challenging exercise for even the best of drivers. By challenging, I mean dangerous. The speed limit on Hwy 44 is 55 mph. During high traffic times, in the morning and the late afternoon, wait times to enter the highway can and have been as long as 20 minutes, as reported by some residents. Weekends are also a problem when Eagle Christian Church services end.

We would be appreciative if the City of Star would either stop this project because of the anticipated traffic congestion and its attendant dangers, or mitigate the potential problem by making the necessary improvements to the roadways mentioned. These improvements cannot wait until Hwy 44 is widened sometime in the next 5 years.

If you would like suggested mitigation measures from the residents of all the developments along Moon Valley, we'd be happy to participate.

Please see all HOA members' signatures on attached signature page.

Respectfully,

R.W. Piazza
HOA President



Rivervine Homeowners Association

SIGNATURE PAGE

MOON VALLEY TOWN HOMES SUBDIVISION

NAME	ADDRESS	PHONE
Robert Ragan	6485 RIVERVINE WAY	208-898-4450
Penelope B. Ragan	"	"
Michael Ragan	827 S Hidden Creek Lane	714-686-9558
John Ragan	976 S Hidden Creek Lane	208-350-3089
Mark Ragan	794 Rivervine Way	208-371-9100
Karen Diller	298 Lurim Way	208-371-9110
Wendy Diller	7071 W. Planterra Ln	208-880-7117
Amanda Kranz	7071 W. Planterra Ln	208-794-2397
John Kranz	7135 W. PLANTERRA	208-871-1619
John Kranz	7135 W Planterra Ln	208-871-3625
John Kranz	827 S. HIDDEN CREEK LN	208-870-3221
John Kranz	7007 W Planterra Ln	208-859-2758
John Kranz	7007 W Planterra Ln	208-870-4647
John Kranz	7002 W. PLANTERRA LN.	208-866-3225
John Kranz	"	208-941-2755
John Kranz	7049 W Avignon LN	702-595-4662
John Kranz	"	702-496-2293
John Kranz	976 S. Hidden Creek Ln	602-1068
Sid Ahlstrom	562 S Rivervine Way	208-870-8730
Tim Snooks	562 S Rivervine Way	208-602-7686
Jennifer Snooks		

August 30, 2021

RECEIVED
AUG 30 2021
BY: BN.

Mr. Shawn Nickel
Planning Director
10769 W State St
Star, ID 83669

HAND DELIVERED

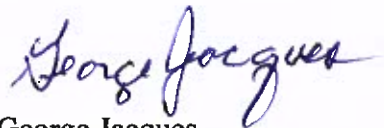
Dear Mr. Nickel and Star City Council:

Charlene and I live directly across the street (Moon Valley) from the proposed development and wish to register our objection to this development at the west end of Moon Valley Rd. We do not begrudge the developer's right to develop the property and the developed property will clearly look better than an empty lot covered with weeds.

However, we specifically object to the development being apartments. All developments on Moon Valley have been homes that required a major financial commitment by the owner. Placing apartments among these homes will undoubtedly impact the future value of these homes with renters who have no financial commitment to future of the neighborhood. It's not that there are no apartments in the area as the city has apartment homes being built on the north side of State St. We believe the development on Moon Valley, even as town houses, needs to be privately owned.

We also object to the density that is being proposed. Riverstone is not fully built out and it can now take as much as 10 minutes to get out onto State St. Even when the proposed light is added, we are going to be faced with long waits. Adding a high-density development will only make matters worse. We propose that the density not be any higher than what the city has already approved for the property directly south of the proposed development. The developer's argument that the higher density is required to make the project profitable is blatantly hollow in light of the other developments on Moon valley being built at a profit.

Thank you for your consideration to our concerns!



George Jacques
69 South Big Star Lane
Eagle, ID 84616



Charlene Jacques

To: Star City Planning Department
10769 West State Street,
Star, Idaho 83669

From: William & Melissa Connelly
188 South Moon Beam Way
Eagle, Idaho 83616

Re: Riverstone Density and Residential Approvals

The proposed additional Riverstone development just southeast of the intersection of Highways 16 and 44, with its enhanced townhouse-style density is inappropriate for the outdated and undersized infrastructure in the area. The existing development of 256 single-family residences already creates an unacceptable traffic burden on the adjacent streets, specifically Moon Valley Road, Short Road and Palmer Lane. Another 156 townhomes will only compound the problems, making a bad situation much, much worse.

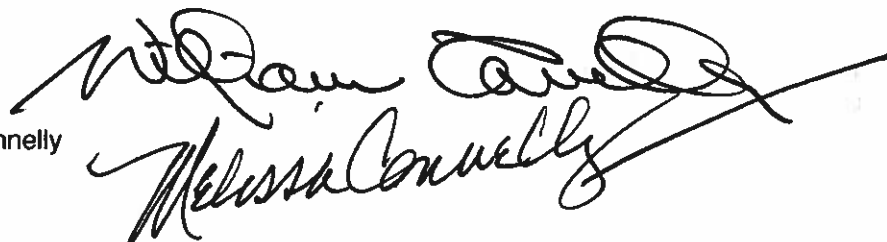
Highway 16 is already a limited access arterial, and Highway 44 should be, especially as it approaches the interchange. Hemmed in by these two already busy roads, and with the river to the south, ALL the residents of the existing and proposed developments have no choice but to exit their neighborhoods via Moon Valley Road, a heretofore quiet rural lane with minimal shoulders and many, many driveways. At an average of 10 trips per household per day (generally even higher for younger families) I do not believe Moon Valley Road is capable of handling the additional 4,000-plus vehicle trips in its current condition. That is almost 6 cars per minute passing any given spot on Moon Valley Road, on top of whatever local traffic already exists. Short Road and Palmer Lane have very substandard, uncontrolled intersections and offer an unsafe way to approach State Street (Hwy 44), forcing drivers eastward to Moon Valley Road's terminus. Would Star City like to pay for the necessary upgrades to service their new citizens??

At the very least, where are the traffic studies, volume projections and cost-benefit analyses for the desperately needed highway improvements?? The work to complete the Central Valley Parkway's transition to a freeway is already well under way, increasing the likelihood of further development pressures and ever more traffic.

Growth may be inevitable in the Treasure Valley, but it must be smart growth that enhances the the experiences of all citizens - within Star, and beyond - rather than further degrading our air, noise levels, and general quality of life. Unless and until some alternate and safe means to exit the Riverstone development can be determined, Star City would be reckless in approving higher density in such a land-locked area, funneling excessive traffic volumes on Ada County residents and roadways woefully inadequate to handle them. The sadly inevitable ensuing accidents, injuries and - yes - deaths will be on the shoulders of Star City planning commissioners. It would be irresponsible of Star City to trade the peace of mind of its Ada County neighbors for the short-term greed of a quick tax boost for its coffers. And what of those new residents in the townhomes, trapped daily in a bottleneck on a road too small for their children to safely cycle on, without access to shopping, services or schools??

Please, DO NOT APPROVE the increased density! And move swiftly to implement safe, sane alternatives for the benefit of all.

William & Melissa Connelly
801 550-5757

The block contains two handwritten signatures in black ink. The top signature is for William Connelly and the bottom signature is for Melissa Connelly. Both signatures are fluid and cursive.

To whom it may concern/Shawn Nickel

We treasure the serenity of our rural community serviced by a very narrow two lane country road. It is very nice for kids, horses, bikers, and walks.

Many of us have seen the impact from the recent building on Moon Valley Road, long waits to get on State Highway 44 as well as heavy traffic on Moon Valley Road. Eagle Christian Church has posted a sign asking people not to use their parking lot as access to Hwy 44.

We have a beautiful community , consisting of larger acreage, farms and ranches. But high density development threatens. The developer of Riverstone submitted to the city of Star an application to approve an additional 156 townhomes at the west end of Moon Valley Road.

The national average of trips per day per household is 10. Riverstone has 268 homes approved (only 50 occupied) plus the additional 156 townhomes equals 4240 car trips per day. Even if you halved that number Moon Valley Road will soon be a very congested problem.

We are opposing the density!! We bought and built in Moon Valley Ranch because of the beautiful rural character that is has!

Additionally, stopping large scale projects until traffic on 44 is addressed is also a major concern. Thank you and we hope that this investor doesn't take away what brought us here.

Sincerely,
Bryan & Kes Harsin

A handwritten signature in black ink, appearing to read 'Bryan & Kes Harsin'. The signature is stylized with large, sweeping loops and a long horizontal line extending to the right.



CITY OF STAR

LAND USE STAFF REPORT

TO: Mayor & Council

FROM: City of Star Planning Department *Shawn T. Mink*

MEETING DATE: **October 12, 2021 - PUBLIC HEARING**

FILE(S) #: RZ-21-03 Rezone
DA-21-18 Development Agreement
PP-21-07 Preliminary Plat for Rooster Hollow Subdivision
PUD-21-02 Planned Unit Development
PR-21-12 Private Street

OWNER/APPLICANT/REPRESENTATIVE

Property Owner:	Applicant:	Representative
Don & Barbara Bodiford 10081 N. Palisades Way Garden City, Idaho 83714	6794 SH44, LLC 13945 W. Wainright Dr., Ste. 106 Boise, Idaho 83713	Randy Wall Professional Eng. Services 5636 N. Portsmouth Ave Boise, Idaho 83714

REQUEST

The Applicant is seeking approval of a Rezone (MU-DA to C-2-PUD-DA/R-5-PUD-DA), a Development Agreement, a Planned Unit Development, a Preliminary Plat and a Private Street for a proposed mixed-use development consisting of 46 single-family residential, 6 live/work units, 2 commercial and 4 light industrial lots and 6 common lots. The property is located at 6794 W. State Street (Hwy 44) in Star, Idaho and consists of 14.38 acres with a proposed density of 3.6 dwelling units per acre.

PROPERTY INFORMATION

Property Location: The subject property is generally located on the north side of W. State Street (Hwy 44) approximately 1,000 feet east of Road. Canyon County Parcel No. R3401500000 and R3401501000. .

Existing Site Characteristics: The property is currently in agricultural use with a single-family home and outbuildings.

Irrigation/Drainage District(s): - Middleton Irrigation Association, Inc.
Middleton Mill Ditch Company
PO Box 848
Middleton, ID 83644

Flood Zone: This property is not located in a Special Flood Hazard Area.
FEMA FIRM Panel: 16027C0259G
FIRM Effective Date: 06/7/2019
Flood Zone: Zone X

Special On-Site Features:

- ★ Areas of Critical Environmental Concern – No known areas.
- ★ Evidence of Erosion – No known areas.
- ★ Fish Habitat – No known areas.
- ★ Mature Trees – None.
- ★ Riparian Vegetation – No known areas.
- ★ Steep Slopes – No.
- ★ Stream/Creek – None.
- ★ Unique Animal Life – No unique animal life has been identified.
- ★ Unique Plant Life – No unique plant life has been identified.
- ★ Unstable Soils – No known issues.
- ★ Wildlife Habitat – No wildlife habitat has been developed or will be destroyed.
- ★ Historical Assets – No historical assets have been observed.

APPLICATION REQUIREMENTS

Pre-Application Meeting Held	April 1, 2021
Neighborhood Meeting Held	April 19, 2021
Application Submitted & Fees Paid	June 8, 2021
Application Accepted	June 10, 2021
Residents within 300' Notified	September 27, 2021
Agencies Notified	June 16, 2021
Legal Notice Published	September 29, 2021
Property Posted	September 8, 2021

HISTORY

May 2, 2006	Council approved the Annexation and Rezone of file AZ-06-08 contingent upon satisfactory resolution of a Development Agreement.
November 14, 2006	Council approved file AZ-06-08-DA, the Annexation of the East Canyon Land Acquisition Company, LLC property and its zoning to Multiple Use

(MU-DA), through the successful resolution of the Development Agreement.

The Development Agreement has since been deemed invalid due to specific Conditions of Approval not being completed in a timely manner.

SURROUNDING ZONING/COMPREHENSIVE PLAN MAP/LAND USE DESIGNATIONS
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	Zoning Designation	Comp Plan Designation	Land Use
Existing	MU	Comm/Indust. Corridor Neighborhood Residential	Single Family Residential/Agricultural
Proposed	C-2-PUD-DA R-5-PUD-DA	Comm/Indust. Corridor Neighborhood Residential	Single Family Residential Commercial Light Industrial
North of site	MU-DA	Neighborhood Residential	Agricultural Use
South of site	County	Neighborhood Residential	Agricultural Use
East of site	MU-DA	Comm/Indust. Corridor Neighborhood Residential	Single Family Residential/Agricultural
West of site	County	Comm/Indust. Corridor Neighborhood Residential	Single Family Residential/Agricultural

CODE DEFINITIONS / COMPREHENSIVE PLAN
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UNIFIED DEVELOPMENT CODE:

8-1B-1: ANNEXATION AND ZONING; REZONE:

B. Standards:

1. The subject property shall meet the minimum dimensional standards of the proper district.
2. The city may require a development agreement in conjunction with the annexation and zoning, or rezone, pursuant to Idaho Code section 67-6511A, which may include a concept plan. In addition to other processes permitted by city and state code, exceptions or waivers of standards, other than use, may be permitted through execution of a development agreement. A development agreement and concept plan shall be required for any rezone to a mixed-use zone, high density zone or land which includes steep slope (land over 25%) or floodway.
3. The termination of a development agreement shall result in the reversal of the official zoning map amendment approval and applicable development approval for any undeveloped portion of property subject to the development agreement. The undeveloped property subject to the development agreement shall be rezoned to the district classification as designated by the

development agreement. When no designation is provided, the property shall revert to its original zoning or, if the original designation no longer exists, to the closest current equivalent zoning as determined by the current Comprehensive Plan Land Use Map designation.

4. An amendment or termination of a previously recorded development agreement shall be recorded in the office of the county recorder by the clerk.

5. An approved development agreement must be executed within ninety (90) days of the meeting at which the development agreement is approved by the city council. A one-time administrative extension of maximum thirty (30) days may be granted by the zoning administrator. Additional extensions may be approved by majority vote of the city council. Failure to execute the development agreement within the required timeframe will result in the denial of all related applications.

C. Required Findings: The council shall review the application at the public hearing. In order to grant an annexation and zoning or rezone, the council shall make the following findings:

1. The map amendment complies with the applicable provisions of the comprehensive plan;
2. The map amendment complies with the regulations outlined for the proposed district;
3. The map amendment shall not be materially detrimental to the public health, safety, and welfare; and
4. The map amendment shall not result in an adverse impact upon the delivery of services by any political subdivision providing public services within the city.
5. The annexation (as applicable) is in the best interest of city.

8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:

R RESIDENTIAL DISTRICT: To provide regulations and districts for various residential neighborhoods. Gross density in a Residential (R) district shall be determined according to the numeral following the R. The numeral designates the maximum number of dwelling units per acre. In zoning designations of R-1, R-2, R-3, R-4 and R-5, housing shall be single family detached unless approved with a PUD or development agreement. Connection to municipal water and sewer facilities are required for all subdivision and lot split applications submitted after the effective date hereof in all districts exceeding one dwelling unit per acre. Wells and septic systems may be permitted for larger lots in this land use designation that are not adjacent to municipal services, as determined by the Sewer District, and if approved by the applicable Health Department. Private streets may be approved in this district for access to newly subdivided or split property. This district does allow for some non-residential uses as specified in 8-3A-3.

C-2 GENERAL BUSINESS DISTRICT: To provide for the establishment of areas for commercial uses allowed in other commercial zones and commercial uses which are more intensive than those permitted in other commercial zones, and typically located adjacent to arterial roadways and not immediately adjacent to residential, including the establishment of areas for travel related services such as hotels, motels, service stations, drive-in restaurants, offices, limited warehousing, commercial services and retail sales.

LI LIGHT INDUSTRIAL DISTRICT: To provide for manufacturing, warehousing, mini-storage and open storage, multi-tenant industrial park, contractors yards, and similar uses. Limited office and commercial uses may be permitted as ancillary uses. All development within this land use shall be free of hazardous or objectionable elements such as excessive noise, odor, dust, smoke, or glare.

P PLANNED UNIT DEVELOPMENT: This designation, following any zoning designation noted on the official zoning map of the city (i.e., R-4-P), indicates that the development was approved by the city as a planned unit development, with specific allowances and design approved by Council.

DA DEVELOPMENT AGREEMENT: This designation, following any zoning designation noted on the official zoning map of the city (i.e., C-2-DA), indicates that the zoning was approved by the city with a development agreement, with specific conditions of zoning.

<u>ZONING DISTRICT USES</u>	A	R-R	R
Accessory structure	A	A	A
Dwelling:			
Multi-family 1	N	N	C
Secondary 1	A	A	A
Single-family attached	N	N	C
Single-family detached	P	P	P
Two-family duplex	N	N	P

8-3A-3: USES WITHIN ZONING DISTRICTS

The table above lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N) uses in the residential zone.

8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:

Zoning District	Maximum Height Note Conditions	Minimum Yard Setbacks Note Conditions			
		Front(1)	Rear	Interior Side	Street Side
R-5	35'	15' to living area/side load garage 20' to garage face	15'	5'	20'
C-2	35'	20'	5'	0'	20'

Notes:

1. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhang onto the sidewalk.
2. Interior side yard setbacks for lots with 50' or less of lot width shall be allowed 5' interior side yard setbacks for one and two-story structures.

8-4D-3: STANDARDS (PRIVATE STREETS):

All private streets shall be designed and constructed to the following standards:

A. Design Standards:

1. Easement: The private street shall be constructed on a perpetual ingress/egress easement or a single platted lot (with access easement) that provides access to all applicable properties.
2. Connection Point: Where the point of connection of the private street is to a public street, the private street shall be approved by the transportation authority.
3. Emergency Vehicle: The private street shall provide sufficient maneuvering area for emergency vehicles as determined and approved by the Star Fire District.
4. Gates: Gates or other obstacles shall not be allowed, unless approved by Council through a Planned Unit Development or Development Agreement.

B. Construction Standards:

1. Obtain approval from the county street naming committee for a private street name(s);
 2. Contact the transportation authority to install an approved street name sign that complies with the regulations of the county street naming ordinance;
 3. Roadway and Storm Drainage: The private street shall be constructed in accord with the roadway and storm drainage standards of the transportation authority or as approved by the city of Star based on plans submitted by a certified engineer.
 4. Street Width: The private street shall be constructed within the easement and shall have a travel lane that meets ACHD width standards for the City of Star, or as determined by the Council and Star Fire District.
 5. Sidewalks: A five foot (5') attached or detached sidewalk shall be provided on one side of the street in commercial districts. This requirement may be waived if the applicant can demonstrate that an alternative pedestrian path exists.
 6. Fire Lanes: All drive aisles as determined by the Star Fire District to be fire lanes, shall be posted as fire lanes with no parking allowed. In addition, if a curb exists next to the drive aisle, it shall be painted red.
 7. No building permit shall be issued for any structure using a private street for access to a public street until the private street has been approved.
- C. The applicant or owner shall establish an on-going maintenance fund through the Owner's association with annual maintenance dues to ensure that funds are available for future repair and maintenance of all private streets. This shall be a requirement in a development agreement and/or as part of a planned unit development. A reserve account condition shall be included in the recorded CC&R's and shall be provided to the City for review. The condition of approval shall include the following:

1. Private Road Reserve Study Requirements.

- a. At least once every three years, the board shall cause to be conducted a reasonably competent and diligent visual inspection of the private road components that the association is obligated to repair, replace, restore, or maintain as part of a study of the reserve account requirements of the common interest development, if the current replacement value of the major components is equal to or greater than one-half of the gross budget of the association, excluding the association's reserve account for that period. The board shall review this study, or cause it to be reviewed, annually and shall consider and implement necessary adjustments to the board's analysis of the reserve account requirements as a result of that review.
- b. The study required by this section shall at a minimum include:
 - i. Identification of the private road components that the association is obligated to repair, replace, restore, or maintain.

- ii. Identification of the probable remaining useful life of the components identified in paragraph (1) as of the date of the study.
 - iii. An estimate of the cost of repair, replacement, restoration, or maintenance of the components identified in paragraph (1).
 - iv. An estimate of the total annual contribution necessary to defray the cost to repair, replace, restore, or maintain the components identified in paragraph (1) during and at the end of their useful life, after subtracting total reserve funds as of the date of the study.
 - v. A reserve funding plan that indicates how the association plans to fund the contribution identified in paragraph (4) to meet the association's obligation for the repair and replacement of all private road components.
- c. A copy of all studies and updates shall be provided to the City, to be included in the development application record.

8-4D-4: REQUIRED FINDINGS (PRIVATE STREETS):

In order to approve the application, the administrator and/or Council shall find the following:

- A. The design of the private street meets the requirements of this article;
- B. Granting approval of the private street would not cause damage, hazard, or nuisance, or other detriment to persons, property, or uses in the vicinity; and
- C. The use and location of the private street shall not conflict with the comprehensive plan and/or the regional transportation plan.

8-4E-2: STANDARDS FOR COMMON OPEN SPACE AND SITE AMENITY REQUIREMENTS:

A. Open Space and Site Amenity Requirement (see also Chapter 8 "Architectural Review"):

- 1. The total land area of all common open space shall equal or exceed fifteen percent (15%) of the gross land area of the development. Ten percent (10%) of that area shall be usable open space.
- 2. Each development is required to have at least one site amenity.
- 3. One additional site amenity shall be required for each additional twenty (20) acres of development area, plus one additional amenity per 75 residential units.

B. Qualified Open Space: The following may qualify to meet the common open space requirements:

- 1. Any open space that is active or passive in its intended use, and accessible or visible by all residents of the development, including, but not limited to:

- a. Open grassy area of at least fifty feet by one hundred feet (50' x 100') in area;
 - b. Qualified natural areas;
 - c. Ponds or water features where active fishing, paddle boarding or other activities are provided (50% qualifies towards total required open space, must be accessible by all residents to qualify.) ponds must be aerated;
 - d. A plaza.
2. Additions to a public park or other public open space area.
3. The buffer area along collector and arterial streets may be included in required overall common open space for residential subdivisions.
4. Parkways along local residential streets with detached sidewalks that meet all the following standards may count toward the common open space requirement:
- a. The parkway is a minimum of eight feet (8') in width from street curb to edge of sidewalk and includes street trees as specified otherwise herein.
 - b. Except for alley accessed dwelling units, the area for curb cuts to each residential lot or common driveway shall be excluded from the open space calculation. For purposes of this calculation, the curb cut area shall be a minimum area of twenty-six feet (26') by the width of the parkway.
 - c. Stormwater detention facilities do not qualify to meet the common area open space requirements, unless all of the following is met:
 - 1. Must be at least fifty feet by one hundred feet (50' x 100') in area;
 - 2. Specifically designed as a dual use facility, as determined by the administrator, to include minimal slopes, grass throughout, and guarantee of water percolation within 24 hours of storm event.
 - 3. Is located in a development that has a second usable open space area that contains a qualified site amenity as herein defined.
5. Visual natural space, including open ditches, wetlands, slopes or other areas that may not be readily accessible to residents, and is provided with open style fencing, may qualify for up to 20% of the required open space total.
- C. Qualified Site Amenities: Qualified site amenities shall include, but not be limited to, the following:
- 1. Clubhouse;
 - 2. Fitness facilities, indoors or outdoors;
 - 3. Public art;

4. Picnic area; or
5. Recreation amenities:
 - a. Swimming pool.
 - b. Children's play structures.
 - c. Sports courts.
 - d. Additional open space in excess of 5% usable space.
 - e. RV parking for the use of the residents within the development.
 - f. School and/or Fire station sites if accepted by the district.
 - g. Pedestrian or bicycle circulation system amenities meeting the following requirements:
 - (1) The system is not required for sidewalks adjacent to public right of way;
 - (2) The system connects to existing or planned pedestrian or bicycle routes outside the development; and
 - (3) The system is designed and constructed in accord with standards set forth by the city of Star;
- D. Location: The common open space and site amenities shall be located on a common lot or an area with a common maintenance agreement.
- E. Maintenance:
 1. All common open space and site amenities shall be the responsibility of an owners' association for the purpose of maintaining the common area and improvements thereon.

8-7-1: PURPOSE PLANNED UNIT DEVELOPMENTS:

- A. The purpose of the planned unit development (PUD) requirements is to provide an opportunity for exemplary site development that meets the following objectives:
 1. Preserves natural, scenic and historic features of major importance;
 2. Allows for innovative design that creates visually pleasing and cohesive patterns of development; and
 3. Creates functionally integrated development that allows for a more efficient and cost-effective provision of public services.
- B. It is not the intent that the PUD process be used solely for the purposes of deviation from the dimensional standards in the district. (Ord. 215, 11-2-2011)

8-7-4: STANDARDS:

The council may approve planned unit developments, in accord with the following standards:

A. General Use Standards:

1. **Deviations From Underlying District Requirements:** Deviations from the development standards and/or area requirements of the district in accord with chapter 3, "District Regulations", of this title may be approved. The exception is that along the periphery of the planned development, the applicable setbacks as established by the district shall not be reduced.
2. **Allowed Uses:** Applicant may request that specific conditional use(s) be allowed in the district as principal permitted use(s).
3. **Private Streets and Service Drives:** The uses within the planned unit development are interconnected through a system of roadways and/or pathways as appropriate. Private streets and service drives may be permitted, if designed and constructed to the transportation authority standards and in accord with chapter 4, article E, "Private Street Requirements", of this title.
4. **Buildings Clustered:** Buildings shall be clustered to preserve scenic or environmentally sensitive areas in the natural state, or to consolidate small open spaces into larger, more usable areas for common use and enjoyment.

B. Private Open Space: In addition to the common open space and site amenity requirements as set forth in chapter 4, "Regulations Applicable To All Districts", of this title, a minimum of eighty (80) square feet of private, usable open space shall be provided for each residential unit. This requirement can be satisfied through porches, patios, decks, and enclosed yards. Landscaping, entryway and other accessways do not count toward this requirement.

C. Residential Use Standards:

1. **Housing Types:** A variety of housing types may be included within a single planned development, such as attached units (townhouses, duplexes), detached units (patio homes), single-family and multi-family units, regardless of the district classification of the site, provided that the overall density limit of the district is maintained. A minimum of two (2) housing types shall be provided for all PUD's.

D. Infill Planned Developments: Properties of five (5) acres or less within the city of Star, that are located in areas already substantially developed (at least 80 percent of the land area within 300 feet of the boundaries of the parcel) and where water, sewer, streets, schools and fire protection have already been developed and are provided. Upon recommendation of the administrator, the council may approve exceptions to other sections of this title as an incentive for infill development, including, but not limited to the following:

1. The council may allow up to a twenty five percent (25%) increase in the density permitted for the district in which the site is located. It is at the sole discretion of the Council to approve the maximum density bonus requested. Density bonuses shall not be allowed in the CBD.
2. The council may also waive or modify open space and amenity requirements set forth in this section depending on the size and scale of the planned development and proximity to public open space, pathways or greenbelts.

E. Conditions, Bonds and Safeguards: In approving the planned unit development, the council may prescribe appropriate conditions, additional conditions, bonds, and safeguards in conformity with this title that:

1. Minimize adverse impact of the use on other property.
2. Control the sequence and timing, or phasing, of the uses.
3. Control the duration of the use. Assure that the use and the property in which the use is located is maintained properly.
4. Designate the exact location and nature of the use and the property development.
5. Require the provision for on site or off-site public facilities or services.
6. Require more restrictive standards than those generally required in this title.
7. Require mitigation of adverse impacts of the proposed development upon service delivery by any political subdivision, including school districts, which provides services within the city.

COMPREHENSIVE PLAN:

8.2.3 Land Use Map Designations:

Neighborhood Residential:

Suitable primarily for single family residential use. Densities in the majority of this land use area are to range from 3 units per acre to 5 units per acre. Densities not exceeding 1 to 2 units per acre are to be encouraged in areas of the floodplain, ridgeline developable areas, hillside developable areas, and where new residential lots are proposed adjacent to existing residential lots of one acre and larger where those existing larger lots are not likely to be subdivided in the future.

Commercial

Suitable primarily for the development of a wide range of commercial activities including offices, retail, and service establishments. Rezoning to this designation should not be allowed unless adequate ingress/egress to major transportation corridors are assured. Light industrial uses may be considered at the discretion of the City Council without amending this plan.

Commercial/Industrial Corridor

This area is located along the Hwy 44 corridor and is approximately 1,000 feet deep on both sides of the highway. Suitable primarily for the development of a wide range of commercial and light industrial activities including offices, retail, service establishments, manufacturing, warehousing, mini-storage and open storage, multi-tenant industrial park, and similar uses. Rezoning to this designation should not be allowed unless adequate ingress/egress to major transportation corridors are assured. All development within this land use shall be free of hazardous or objectionable elements such as excessive noise, odor, dust, smoke, or glare. Uses on the fringes shall transition to and be compatible with existing and future residential uses.

8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

8.4 Objectives:

- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Retain and encourage rural areas where it will not result in increased costs for urban service.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.

8.5.3 Policies Related Mostly to the Urban Residential Planning Areas:

- A. The Neighborhood Residential Land Use is to encourage urban style development densities to limit urban sprawl.
- B. Low densities within the Neighborhood Residential Land Use are to be designed within the floodplain, ridgeline developable areas, hillside developable areas and where new residential lots are proposed adjacent to existing residential lots of one acre and larger where
- C. Site layout within the Special Transition Overlay Area is to provide for a transition in density and lot sizing. Base densities may be significantly reduced or home sites may be clustered to increase open space within a portion of a site when property is within this overlay.

8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.
- Encourage landscaping to enhance the appearance of subdivisions, structures, and parking areas.
- Require more open space and trees in subdivisions.
- Work with Ada County Highway District (ACHD), Canyon Highway District #4 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of roadway and access needs.
- Support well-planned, pedestrian-friendly developments.
- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.
- The City should utilize the 2018 Treasure Valley Tree Selection Guide when requiring trees within developments.

18.4 Implementation Policies:

E. Development Agreements allow the city to enter into a contract with a developer upon rezoning. The Development Agreement may provide the city and the developer with certain assurances regarding the proposed development upon rezoning.

PROJECT OVERVIEW

REZONE:

The rezone request from Mixed Use (MU-DA) to Residential (R-5-PUD-DA) and Commercial (C-2-PUD-DA) on the applicant's property will allow for the subdivision of the property to develop with urban densities and land use types that will be consistent with the December 2020 Comprehensive Plan Land Use Map. The overall gross density of the entire proposed development is 3.6 dwelling units per acre, with a residential density of 4.63 dwelling units per acre. The current Comprehensive Plan Land Use Map designates this property as a Commercial/Industrial Corridor and Neighborhood Residential, with an anticipated density of 3 to 5 dwelling units per acre for residential. The requested density is within this recommended designation. The requested zoning designation and density meets the intent of the Comprehensive Plan and is compatible with the surrounding land uses.

PRELIMINARY PLAT AND PRIVATE STREETS:

The Preliminary Plat submitted contains 52 residential lots and 6 common lots for a total of 58 residential lots with a density of 3.6 dwelling units per acre. The lots are broken out as 26 single family detached unit lots, 20 single family attached unit lots and 6 live/work lots. There will also be 4 light industrial/manufacturing lots and 2 larger commercial lots. The buildable, single family residential lots range in size from 5,300 square feet to 9,551 square feet with an average buildable lot of 6,439 square feet. The attached unit lots range in size from 2,400 square feet to

5,176 square feet. The average attached unit lot is 3,113 square feet. The live/work lots are each 1,008 square feet. The light industrial/manufacturing lots are 5,486 square feet, 5,486 square feet, 5,505 square feet and 6,795 square feet. The applicant has indicated that the development will contain a total of 1.64 acres (17%) of open space. The applicant states that useable open space, not including street buffers and endcaps equals 1.16 acres (12%) exceeding the requirement for usable open space in the current Unified Development Code, Section 8-4E-2. The development will be accessed from a single, public ingress/egress off W State Street (Highway 44). The applicant will also construct a public, east west minor collector frontage road that is proposed to separate the residential and commercial portions of the development. This roadway is recognized in the adopted City's ECAMP Map. The local internal streets are proposed to be private within a fifty (50) foot easement with a street width of thirty-six (36) feet from back of curb to back of curb. This satisfies Section 8-4D-34B (4) of the Unified Development Code. The minor collector road is proposed to be in a sixty (60) foot right of way with a street width of forty-six (46) feet from back of curb to back of curb.

The development will have a minimum forty (40) foot street buffer along W. State Street (Highway 44). There will also be a five (5) foot detached sidewalk along W. State Street (Highway 44) which will satisfy section 8-4A-17 of the UDC.

The current Unified Development Code, Section 8-4E-2 requires a development of this size to have a minimum of 3 site amenities. The applicant is proposing an open grassy area on the southwest corner of the residential and a pickleball court. There will also be a tot lot in a pocket park in the attached unit area. These amenities satisfy Section 8-4E-2C of the Unified Development Code.

ADDITIONAL DEVELOPMENT FEATURES:

- Sidewalks
Applicant is proposing attached Internal sidewalks of five (5) feet in width.
- Lighting
Streetlights shall reflect the "Dark Sky" criteria with all lighting. The same streetlight design shall continue throughout the entire development. The applicant has submitted a streetlight plan showing lights throughout the development. Staff would like to see some additional locations; the applicant shall work with Staff on this prior to final plat approval. The applicant has also provided a streetlight design/cut sheet that meets City requirements and uses the preferred fixture for the City of Star.
- Street Names
Applicant shall work with City Staff on street name approval and also addressing for this development.

- Subdivision Name

Applicant has provided a letter from Canyon County that the subdivision name has been approved and reserved for this development.

- Landscaping

As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. The landscape plan as submitted appears to meet the requirements for trees in the street buffer along W. Floating Feather Road and the common open area. **The plan does not indicate street trees in the front of the single-family homes. Trees are required and shall be installed once homes are located on each lot.**

- Setbacks – Applicant is requesting specific setbacks through the PUD for the attached single-family dwellings and Live/Work units (zero lot-lines). All remaining setback standards for the R-5 and C-2 zoning districts will be adhered to as outlined earlier in this report.
- Mailbox Cluster – Star Postmaster, Mel Norton, has authorized the placement of a mailbox cluster in the commercial portion and the residential portion of the development. The approval letter and map with approved locations was included in the application packet.
- Phasing – Applicant is proposing to complete the development in two (2) phases.

PLANNED UNIT DEVELOPMENT

The application has been submitted as a Planned Unit Development (PUD). The PUD ordinance states that "a variety of housing types shall be included within a single planned development, including attached units (townhouses, duplexes), detached units (patio homes), single-family and multi-family units, regardless of the district classification of the site, provided that the overall density limit of the district is maintained. And while the Commercial District prohibits single-family detached dwellings, "Deviations from the development standards and/or area requirements of the district" may be requested as part of the PUD process.

Also as allowed through the PUD process, the applicant may request that specific conditional use(s) be allowed in the district as principal permitted use(s). This would apply to the proposed Live/Work units and any currently planned commercial/industrial uses. At this time, the applicant has not proposed specific uses within the application request for the commercial and light industrial.

Through the PUD process, the applicant is able to achieve a truly mixed-use development, as envisioned in the Unified Development Code and Comprehensive Plan. Three types of residential (attached, detached, Live/Work) in addition to commercial and light industrial will provide unlimited opportunities in this project. The applicant is able to request specific setbacks, in addition to the Live/Work component and the use of private streets and driveways.

DEVELOPMENT AGREEMENT

Through the Development Agreement process, the applicant is proposing to work with the City and neighboring property owners to provide further insurances that the development will be built as presented and/or modified by the Council through the review process. Items that should be considered by the applicant and Council include the following:

- Density;
- Setbacks;
- ITD Proportionate Share Fees;
- Specifically requested Conditional Use Approvals
- Emergency Access
- Future Development

AGENCY RESPONSES	
Keller and Associates ITD CHD4 DEQ Star Fire District	July 13, 2021 Pending July 22, 2021 June 25, 2021 October 5, 2021

PUBLIC RESPONSES	
None	

STAFF ANALYSIS & RECOMMENDATIONS

Based upon the information provided to staff in the applications and agency comments received to date, staff finds that the proposed rezone, development agreement, preliminary plat, private streets and planned unit development meets the requirements, standards, and intent for development as they relate to the Unified Development Code and the Comprehensive Plan. The Council should consider the entire record and testimony presented at their scheduled public hearing prior to rendering its decision on the matter. Should the Council vote to approve the

applications, either as presented or with added conditions of approval, Council shall direct staff to draft findings of fact and conclusions of law for the Council to consider at a future date.

FINDINGS

The Council may **approve**, **conditionally approve**, **deny** or **table** this request. In order to approve these applications, the Unified Development Code requires that Council must find the following:

ANNEXATION/REZONE FINDINGS:

1. The map amendment complies with the applicable provisions of the Comprehensive Plan.

The purpose of the Star Comprehensive Plan is to promote the health, safety, and general welfare of the people of the City of Star and its Impact Area. Some of the prime objectives of the Comprehensive Plan include:

- ✓ *Protection of property rights.*
- ✓ *Adequate public facilities and services are provided to the people at reasonable cost.*
- ✓ *Ensure the local economy is protected.*
- ✓ *Encourage urban and urban-type development and overcrowding of land.*
- ✓ *Ensure development is commensurate with the physical characteristics of the land.*

The goal of the Comprehensive Plan for Land Use is to encourage the development of a diverse community that provides a mixture of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible provides an assortment of amenities within walking distance of a residential development. The City must find compliance with the Comprehensive Plan.

2. *The map amendment complies with the regulations outlined for the proposed district, specifically, the purposes statement.*

The City must find that the proposal complies with the proposed district and purpose statement. The purpose of the residential districts is to provide regulations and districts for various residential neighborhoods. Gross density in a Residential (R) district shall be determined according to the numeral following the R. The numeral designates the maximum number of dwelling units per acre. In zoning designations of R-1, R-2, R-3, R-4 and R-5, housing shall be single family detached unless approved with a PUD or development agreement. Connection to municipal water and sewer facilities are required for all subdivision and lot split applications submitted after the effective date hereof in all districts exceeding one dwelling unit per acre. Private streets may be approved in this district for access to newly subdivided or split property. The purpose of the commercial district is to provide for the establishment of areas for commercial uses allowed in other commercial zones and commercial uses which are more intensive than

those permitted in other commercial zones, and typically located adjacent to arterial roadways and not immediately adjacent to residential, including the establishment of areas for travel related services such as hotels, motels, service stations, drive-in restaurants, offices, limited warehousing, commercial services and retail sales.

3. The map amendment shall not be materially detrimental to the public health, safety, and welfare; and

The City must find that there is no indication from the material submitted by any political agency stating that this annexation and zoning of this property will be materially detrimental to the public health, safety or welfare.

4. The map amendment shall not result in an adverse impact upon the delivery of services by any political subdivision providing public services within the city including, but not limited to, school districts.

The City must find that it has not been presented with any information from agencies having jurisdiction that public services will be adversely impacted other than traffic, which will continue to be impacted as the City grows.

5. The annexation is in the best interest of the city.

The City must find that this annexation is reasonably necessary for the orderly development of the City.

PRELIMINARY PLAT FINDINGS:

1. The plat is in compliance with the Comprehensive Plan.

The City must find that this Plat follows designations, spirit and intent of the Comprehensive Plan regarding residential development and meets several of the objectives of the Comprehensive Plan such as:

- 1. Designing development projects that minimize impacts on existing adjacent properties, and*
- 2. Managing urban sprawl to protect outlying rural areas.*

2. Public Services are available or can be made available and are adequate to accommodate the proposed development.

The City must find that Agencies having jurisdiction on this parcel were notified of this action, and that it has not received notice that public services are not available or cannot be made available for this development.

3. There is public financial capability of supporting services for the proposed development;

The City must find that they have not been notified of any deficiencies in public financial capabilities to support this development.

4. The development will not be detrimental to the public health, safety or general welfare;

The City must find that it has not been presented with any facts stating this Preliminary Plat will be materially detrimental to the public health, safety and welfare. Residential uses are a permitted use.

5. The development preserves significant natural, scenic or historic features;
The City must find that there are no known natural, scenic, or historic features that have been identified within this Preliminary Plat.

8-7-5: PLANNED UNIT DEVELOPMENT FINDINGS:

Upon recommendation from the administrator, the council shall make a full investigation and shall, at the public hearing, review the application. In order to grant a planned development request, the council shall make the following findings:

- A. The planned unit development demonstrates exceptional high quality in site design through the provision of cohesive, continuous, visually related and functionally linked patterns of development, street and pathway layout, and building design.
- B. The planned unit development preserves the significant natural, scenic and/or historic features.
- C. The arrangement of uses and/or structures in the development does not cause damage, hazard, or nuisance to persons or property in the vicinity.
- D. The internal street, bike and pedestrian circulation system is designed for the efficient and safe flow of vehicles, bicyclists and pedestrians without having a disruptive influence upon the activities and functions contained within the development, nor place an undue burden upon existing transportation and other public services in the surrounding area.
- E. Community facilities, such as a park, recreational, and dedicated open space areas are functionally related and accessible to all dwelling units via pedestrian and/or bicycle pathways.
- F. The proposal complies with the density and use standards requirements in accord with chapter 3, "District Regulations", of this title.
- G. The amenities provided are appropriate in number and scale to the proposed development.
- H. The planned unit development is in conformance with the comprehensive plan.

PRIVATE STREET FINDINGS:

- A. The design of the private street meets the requirements of this article;

The City must find that the proposed private streets meets the design standards in the Code.

B. Granting approval of the private street would not cause damage, hazard, or nuisance, or other detriment to persons, property, or uses in the vicinity:

The City must find that it has not been presented with any facts stating this private road will cause damage, hazard or nuisance, or other detriment to persons, property or uses in the vicinity.

C. The use and location of the private street shall not conflict with the comprehensive plan and/or the regional transportation plan.

The City must find that the use is not in conflict with the comprehensive plan and/or regional transportation plan.

Upon granting approval or denial of the application, the Council shall specify:

1. The Ordinance and standards used in evaluating the application;
2. The reasons for recommending approval or denial; and
3. The actions, if any, that the applicant could take to obtain approval.

CONDITIONS OF APPROVAL

1. The approved Preliminary Plat for the Rooster Hollow Subdivision shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
2. The applicant shall enter into a Development Agreement with the City, agreeing to proportionate share assessment by ITD regarding impacts to the State Highway System. These fees will be collected by the City of Star, by phase, prior to final plat signature. The development agreement shall be signed and recorded as part of the ordinance for annexation and zoning and shall contain the details of the fees to be collected. **The proportionate share amount, as determined by ITD is \$TBD.**
3. **Applicant shall satisfy all CHD4 requirements prior to issuing building permits.**
4. Streetlights shall comply with the Star City Code and shall be of the same design throughout the entire subdivision. Streetlights shall be continuous throughout the subdivision and shall be maintained by the Homeowners Association. **Streetlights shall be installed and energized prior to any building permits being issued.** Design shall follow Code with requirements for light trespass and "Dark Skies" lighting. **Applicant/Owner shall work with Staff on additional light locations prior to Final Plat approval.**
5. Street trees shall be installed per Chapter 8, including Section 8-8C-2-M(2) Street Trees including one (1) tree per thirty-five (35) linear feet. **Trees shall be planted along the road in the single-family residential area as the lots are developed. Certificate of Occupancy**

will not be issued until trees are planted. The applicant shall submit a revised landscape plan showing street trees along the roadways prior to final plat approval.

6. Common area trees shall be provided as stated in Section 8-8C-2, J5, including one (1) tree per four thousand (4,000) square feet.
7. The property with the approved Preliminary Plat shall be satisfactorily weed abated, preventing a public nuisance, per Star City Code.
8. The entrance to W. State Street (Highway 44) shall be cleaned nightly to include dirt, dust, rocks, mud, and other debris. All trash shall be secured on site and trash receptacles emptied on a regular basis to avoid blowing debris.
9. During the entire construction process, dust from the site must be minimized as much as possible. Water trucks should be used as appropriate. Excess dust could result in fines and or work stoppage.
10. All signed Irrigation District Agreements with the Irrigation Districts shall be provided to the City of Star with each subsequent Final Plat application.
- 11. Applicant will work with City Staff on finalizing the street names and addresses.**
12. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
13. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
14. A copy of the CC&R's shall be submitted to the City of Star at Final Plat.
15. A form signed by the Star Sewer & Water District shall be submitted to the City prior to the signature of the Final Plat stating that all conditions of the District have been met, including annexation into the District.
16. A plat note shall state that development standards for residential development shall comply with the effective building and zoning requirements at time of building permit issuance, unless amended in the Development Agreement.
17. Development standards for single family residential units shall comply with effective building and zoning requirements at time of building permit issuance, or as approved through the Development Agreement or as stated herein.
18. All common areas shall be owned and maintained by the Homeowners Association.
19. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through home sales that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of construction.**
20. A sign application is required for any subdivision signs.
- 21. Owner/Developer will agree to install a 2" (High Density Polyethylene) HDPE SDR-11 roll pipe in the shared utility trench to be used for future fiber optic telecommunication cables.**
22. Any additional Conditions of Approval as required by Staff and City Council.

COUNCIL DECISION

The Star City Council _____ File #RZ-21-03/DA-21-18/PP-21-07/PR-21-12/PUD-21-02 for Rooster Hollow Subdivision on _____, 2021.

Vicinity Map for: Rooster Hollow Subdivision

Legend
6794 ID-44

Project

6794 ID-44

44

Saddleman Ranch Ct

Blessinger Rd

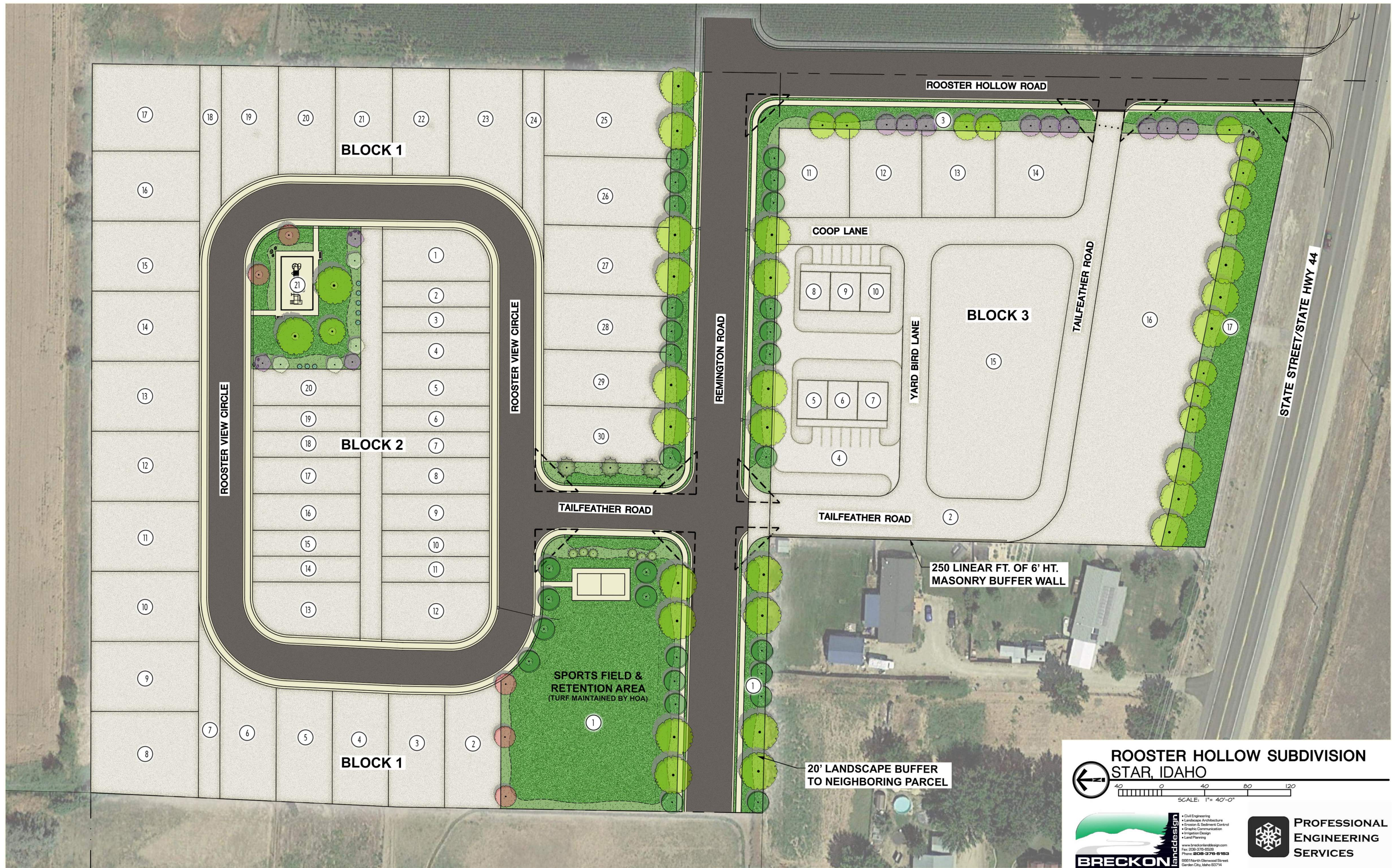
Grace Ln
Bent Ln

Google Earth

© 2021 Google

2000 ft







ROOSTER HOLLOW SUBDIVISION
STAR, IDAHO



SCALE: 1"= 40'-0"



BRECKON landesign

www.breckonlandesign.com
Phone: 208-376-8153
2081 North Glenwood Street
Garden City, Idaho 83714



**PROFESSIONAL
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SERVICES**



Project Narrative for

Rooster Hollow Subdivision

Project Description

The Rooster Hollow Subdivision is a proposed Rezone, Preliminary Plat, and Planned Unit Development (PUD) on 14.38-acres on the west edge of the City of Star, to the north and fronting State Route 44. The Rezone proposes to align the zoning with the land uses contained in the recently updated Comprehensive Plan, consisting of Neighborhood Residential on the north, and Commercial/Industrial Corridor on the south portion. The project is proposing to construct an east west minor collector frontage, or backage road, in conformance with the *Economic Corridors Access and Roadway Connection Management Plan*, approved by the Star City Council on February 11, 2020, that separates the proposed R-5 zoning to the north, and C-2 zoning to the south.

The Preliminary Plat proposes to subdivide the property into a total of 64 lots, consisting of 52 dwelling units, and 12 other lots as follows.

- 26 single family lots
- 20 Townhouse lots
- 6 live-work units
- 2 commercial lots
- 4 light-manufacturing lots
- 6 common lots

The gross overall density of the project will be 52 dwelling units/14.38-acres equaling 3.61 dwelling units per acre. The density of the 9.94-acre residential portion north of the backage road is proposed to be (26 single-family + 20 Townhouse units)/9.94-acres equals 4.63 dwelling units per acre. Hence the proposed R-5 zoning. C-2 zoning is proposed on the south 4.44-acres of the project.

The purpose of the PUD is to provide the flexibility to have light-manufacturing, live-work units, and highway commercial within the C-2 zone. The PUD will also allow the project to have two phases corresponding to the zoning districts created by the Rezone. Furthermore, the applicant will be submitting a Property Line Adjustment and Record of Survey to reconfigure the two parcels to align

with the limits of the R-5 and C-2 zones, thereby providing maximum flexibility for phasing and potential property sales.

The residential portion of the property contains 5-common lots totaling 1.64-acres of open space, or 17% of the residential zone. The usable open space consists of common Lots 1 and 21, totaling 1.16 acres, or 12% of the residential zone. A shallow stormwater retention facility, with flat slopes, turf, and irrigation, is proposed for Lot 1 that will act as a recreation field during dry times of the year. There will be amenities installed on both the at-grade portion of Lot 1 and on Lot 21.

Project Background

The configuration of the Rooster Hollow project is the result of participation in the Comprehensive Plan update process by the City of Star at the end of 2020. The common threads that emerged from the update process included the lack of light-manufacturing and creative space in the City and the City's desire to become a diverse and thriving community, not just a bedroom community for the Treasure Valley. Therefore, the applicant set out to create a project that would address these needs and provide a development with a high-quality of life for its residents.

A pre-application meeting was held with City Departments on April 1, 2021, at the Star City Hall. The input from the City Departments has been incorporated into the proposed Rezone, Preliminary Plat, and PUD.

A neighborhood meeting was held on April 19, 2021, in the Mallard Room in the Star Riverhouse. The meeting was well attended. The general consensus was opposition to the project, but once that was acknowledged, a good discussion ensued, and the neighbors provided great feedback on how to make the project better. Based upon the feedback from the neighbors, the project incorporated the following measures to mitigate potential impacts to the surrounding properties.

- The three Townhouses originally proposed in the southwest corner have been moved to the center of the residential area.
- The east/west backage road through the property has been re-aligned, and screening landscaping will be installed in the 20 ft. landscaping buffer strip along the road at the southwest corner.
- Lighting for the commercial area will be designed with special care to provide down-lighting and prevent spill and glare onto adjacent properties.
- The project will install a 6 ft. high masonry buffer wall for a length of approximately 250 ft. along the west line of the commercial area.

Transportation

The project retained Kittelson & Associates to define the scope of work, originate a Traffic Impact Study (TIS), and process an encroachment permit with the Idaho Transportation Department (ITD)

for a permanent right-in/right-out access onto State Route 44. The completed TIS is included with the applications for the project and has been submitted to ITD by Kittelson for final review and approval. The project will share one-half of the north/south 60 ft. right-of-way along the east property line of the commercial portion. It is the project's understanding the property contiguous to the east is being purchased and proposed to be developed. The project is requesting that the other half of the 60 ft. right-way for the access road be shared by the property to the east.

All other roads and circulation within the project have been coordinated with the Star Fire District and Canyon County Highway District Number 4.

Utilities

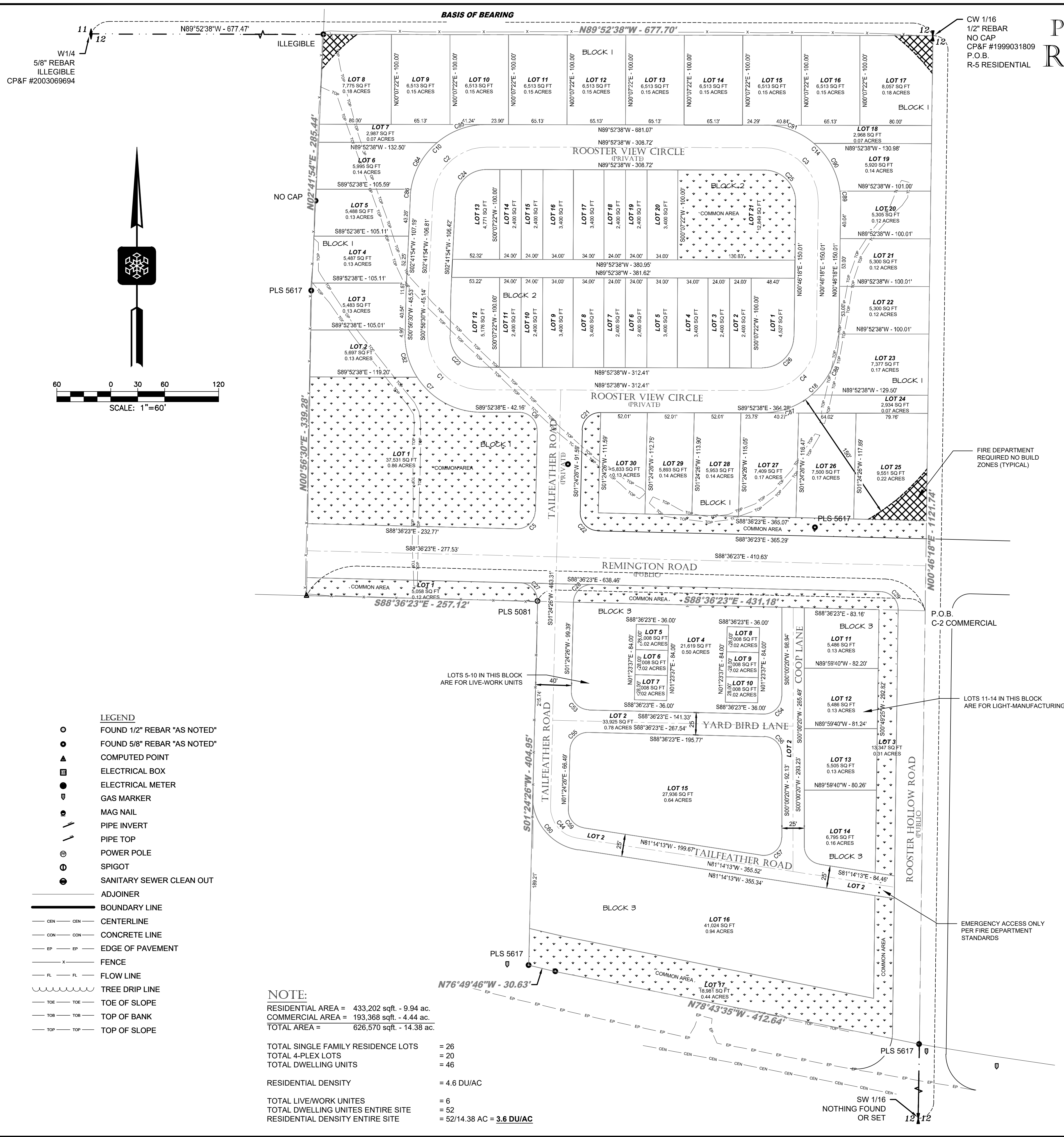
The 14.38 acres comprising the Rooster Hollow project were annexed into the Star Sewer and Water District in 2006. Currently there is much development activity on the west side of the City. The sewer and water will be provided by the Star Sewer & Water District, however, it has yet to be determined if the access to those facilities will be to the north or the south of the property.

A pressurized irrigation system will be installed for the project, and water will be provided by existing water shares with the Middleton Irrigation Association and the Flake Ditch Company.

Conclusion

Rooster Hollow is designed to address the desires and goals of the City Council and citizens that emerged during the Comprehensive Plan update process. The project is designed to provide a diverse micro-community that provides highway services, light-manufacturing, and innovative live/work units that will serve the residential portion of the project and the west end of Star. The residential zone provides valued community aspects for its residences, like open space, human amenities, connectivity, and access to commercial services without having to get in their cars. Finally, the design of Rooster Hollow is the result of a participative and collaborative process with the City Planning Department, Star Fire District, Star Sewer & Water District, ITD, Canyon Highway District Number 4, and most importantly, the neighbors surrounding the project, and delivers on the intention of the City Council to provide a well-planned diverse project that enhances the quality of life for its residents and the citizens of the City of Star.

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PUD SITE PLAN & PRELIMINARY PLAT FOR ROOSTER HOLLOW SUBDIVISION

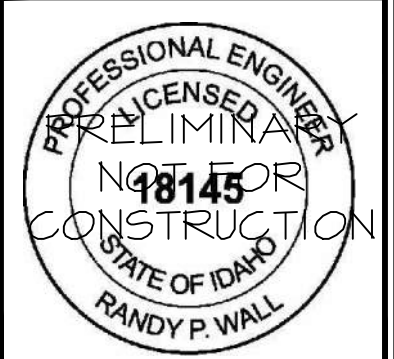
A PORTION OF NORTHWEST 1/4 OF THE SOUTHWEST 1/4
SECTION 12, TOWNSHIP 4 NORTH, RANGE 2 WEST, B.M.,
CANYON COUNTY, IDAHO
-2021-

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	BEARING
C1	95.11'	60.00'	90°49'08"	60.86'	85.46'	S44° 28' 04"E
C2	91.55'	60.00'	87°25'28"	57.36'	82.92'	S46° 24' 38"W
C3	94.93'	60.00'	90°38'56"	60.68'	85.33'	N44° 33' 10"W
C4	93.57'	60.00'	89°21'04"	59.32'	84.37'	N45° 26' 50"E
C5	31.41'	20.00'	89°59'11"	20.00'	28.28'	N46° 24' 01"E
C6	31.86'	20.00'	91°17'04"	20.45'	28.60'	N44° 14' 06"W
C7	134.73'	85.00'	90°49'08"	86.22'	121.06'	S44° 28' 04"E
C10	129.70'	85.00'	87°25'28"	81.26'	117.48'	S46° 24' 38"W
C14	134.48'	85.00'	90°38'56"	85.97'	120.89'	N44° 33' 10"W
C18	132.56'	85.00'	89°21'04"	84.04'	119.53'	N45° 26' 50"E
C21	30.97'	20.00'	88°42'56"	19.56'	27.97'	S45° 45' 54"W
C22	31.42'	20.00'	90°00'49"	20.00'	28.29'	S43° 35' 59"E
C23	55.48'	35.00'	90°49'08"	35.50'	49.85'	S44° 28' 04"E
C24	53.40'	35.00'	87°25'28"	33.46'	48.37'	S46° 24' 38"W
C25	55.37'	35.00'	90°38'56"	35.40'	49.78'	N44° 33' 10"W
C26	54.58'	35.00'	89°21'04"	34.61'	49.22'	N45° 26' 50"E
C27	31.42'	20.00'	90°00'49"	20.00'	28.29'	S43° 35' 59"W
C28	31.41'	20.00'	89°59'11"	20.00'	28.28'	S46° 24' 01"W
C29	31.20'	20.00'	89°22'41"	19.78'	28.13'	N43° 55' 03"W
C44	50.48'	35.00'	82°38'39"	30.77'	46.22'	S39° 54' 54"E
C53	31.42'	20.00'	90°00'49"	20.00'	28.29'	S43° 35' 59"E
C54	31.90'	20.00'	91°23'17"	20.49'	28.62'	N45° 41' 58"E
C55	31.41'	20.00'	89°59'11"	20.00'	28.28'	S46° 24' 01"W
C56	30.93'	20.00'	88°36'43"	19.52'	27.94'	N44° 18' 02"W
C57	34.47'	20.00'	98°45'27"	23.32'	30.36'	S49° 23' 03"E
C59	28.85'	20.00'	82°38'39"	17.58'	26.41'	S39° 54' 54"E
C60	86.55'	60.00'	82°38'40"	52.75'	79.24'	S39° 54' 54"E

NOTES:

1. ALL LOT LINES COMMON TO ANY PUBLIC RIGHT OF WAY, REAR LOT LINES AND EXTERIOR BOUNDARY LINES ARE HEREBY DESIGNATED AS HAVING A PERMANENT TEN FOOT WIDE (10') EASEMENT FOR PUBLIC UTILITIES, IRRIGATION AND LOT DRAINAGE. THESE EASEMENTS SHALL NOT PRECLUDE THE CONSTRUCTION OF HARD SURFACED DRIVEWAYS AND WALKWAYS TO EACH LOT.
2. THE INTERIOR SIDE YARD LOT LINE SHALL HAVE A FIVE FOOT (5') WIDE PERMANENT PUBLIC UTILITIES, AND PROPERTY DRAINAGE EASEMENT UNLESS DIMENSIONED OTHERWISE. SAID DRAINAGE EASEMENTS ARE RESERVED FOR HOMEOWNERS ASSOCIATION (HOA) AND ASSIGNS.
3. BLOCK 3, LOT 2 IS DESIGNATED AS A PRIVATE ROADWAY.
4. DIRECT VEHICULAR DRIVEWAYS AND ACCESS TO LOTS ALONG REMINGTON ROAD AND ROOSTER HOLLOW ROAD IS PROHIBITED.
5. A SEPARATE HOA SHALL BE ESTABLISHED FOR THE RESIDENTIAL ZONE NORTH OF REMINGTON ROAD.
6. A SEPARATE PROPERTY OWNERS ASSOCIATION (POA) SHALL BE ESTABLISHED FOR THE COMMERCIAL ZONE SOUTH OF REMINGTON ROAD.

PROFESSIONAL ENGINEERING SERVICES



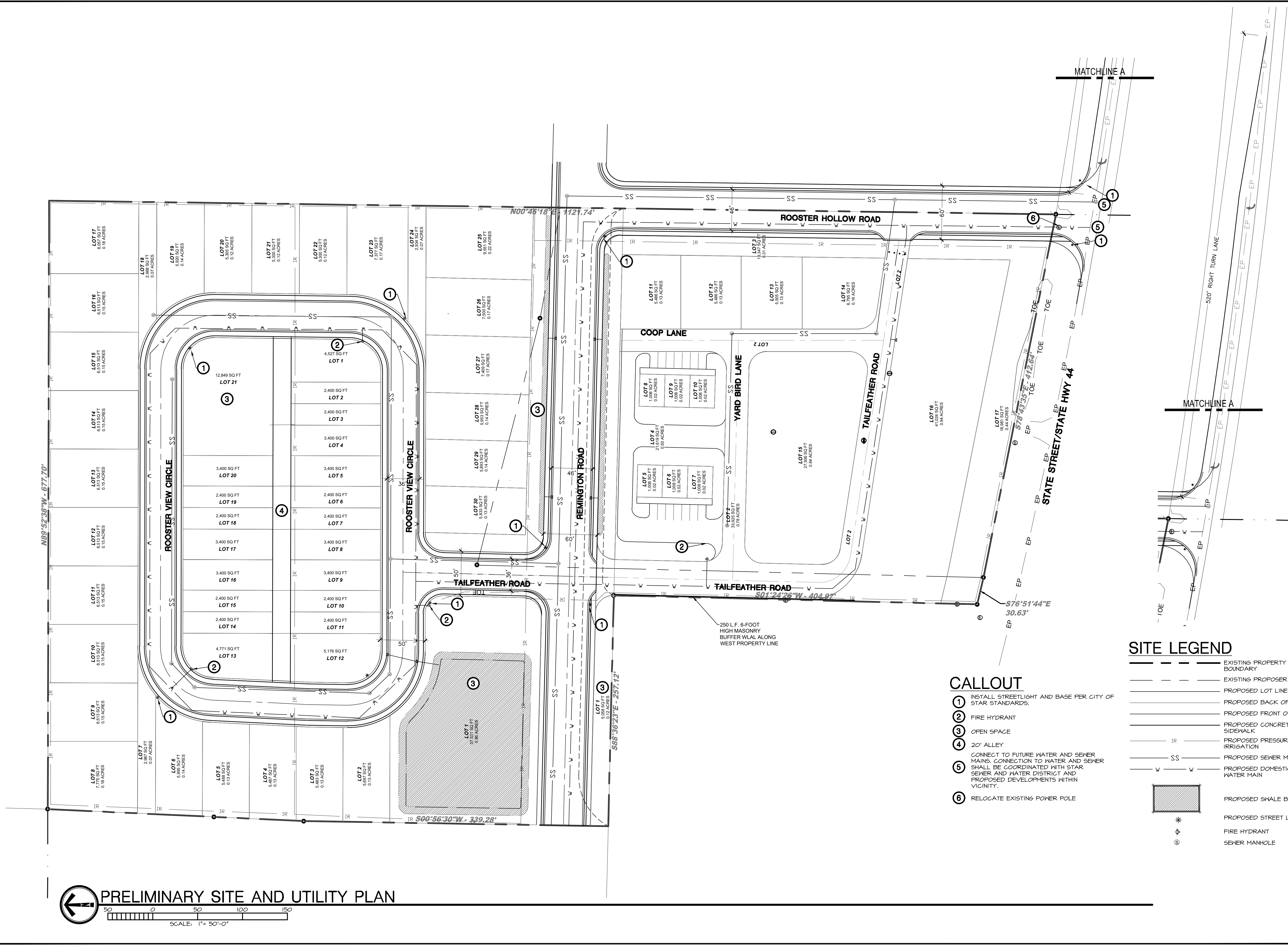
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CHECKED	RPW			
APPROVED	RPW			
LAST EDIT	10/1/2021			
PLOT DATE				
SUBMITTAL	10/1/21			

ROOSTER HOLLOW SUBDIVISION

PROJECT NUMBER	DRAWING FILE NAME
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SHEET NUMBER

PP1.0

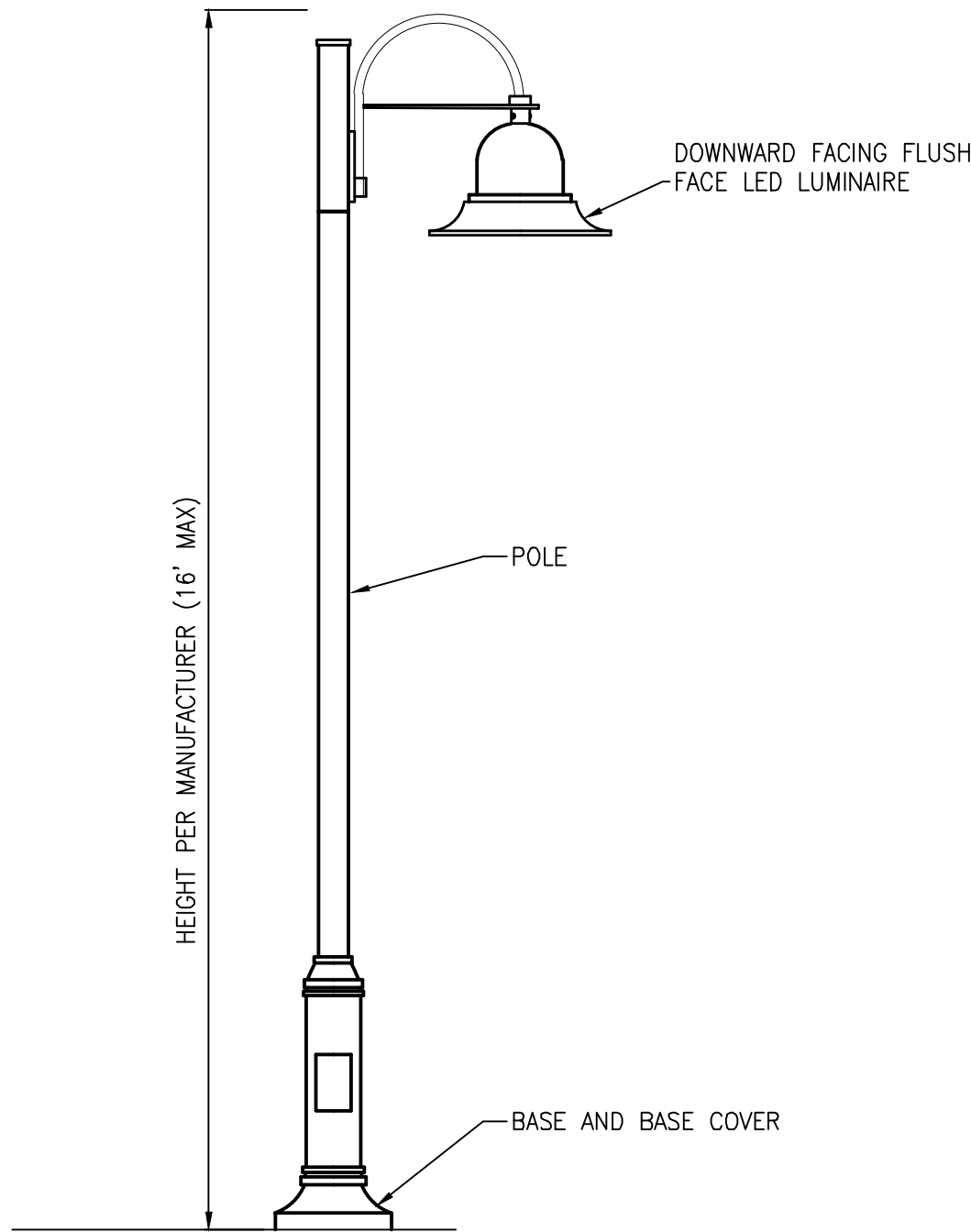


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PROFESSIONAL ENGINEERING SERVICES 15 ACRE PARCEL					
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SHEET NUMBER SP1.0					

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LAST EDIT	10/1/2021				
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SUBMITTAL	10/1/21				

PROFESSIONAL ENGINEERING SERVICES	

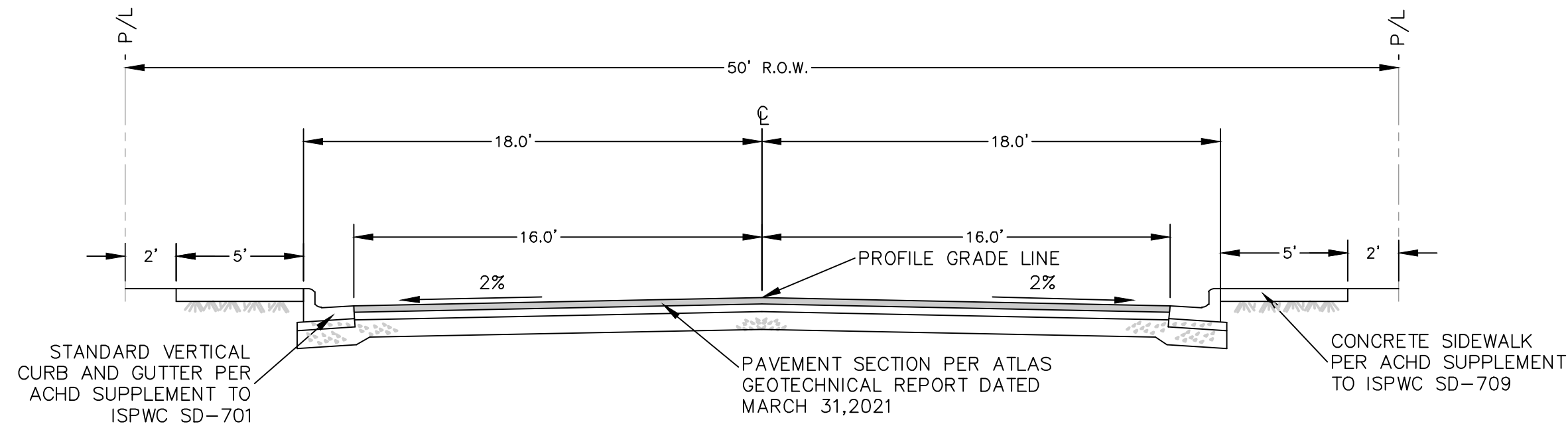
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NOTES:
- LIGHT MANUFACTURER AND MODEL PER CITY OF STAR

1 Streetlight

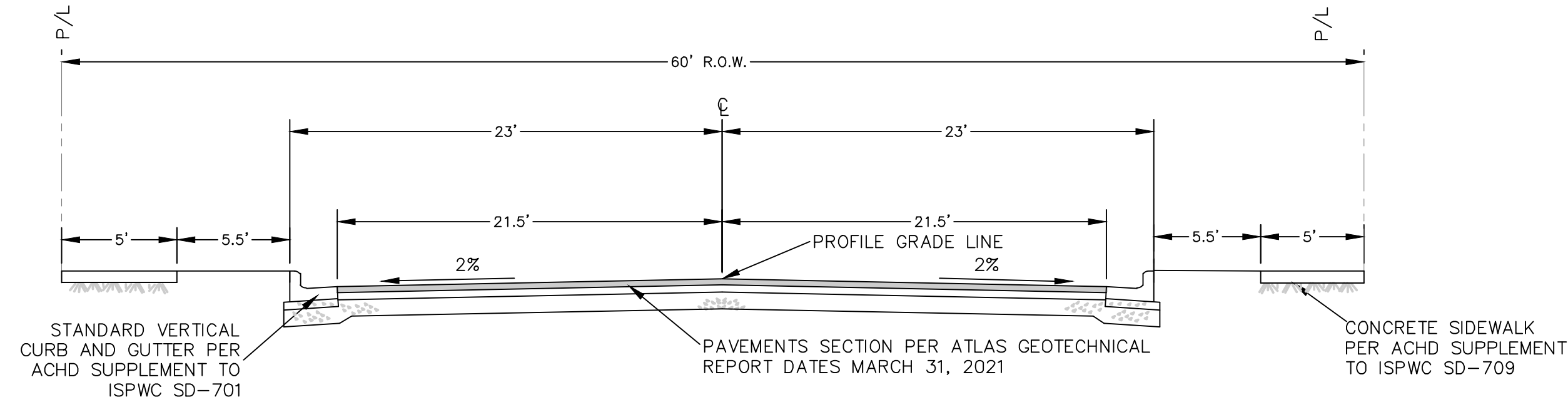
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NOTES:
1. ALL CONSTRUCTION IN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO THE MOST CURRENT EDITION OF THE ISPMC AND TO THE ACHD SUPPLEMENTAL SPECIFICATIONS.
2. STREET CUTS AND SURFACE RESTORATION SHALL BE COMPLETED IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE ISPMC AND THE ACHD SUPPLEMENTAL SPECIFICATIONS.
3. ROADWAY AND DRAINAGE IMPROVEMENTS WILL BE INSPECTED BY CHD4.
4. CONTRACTOR SHALL PROVIDE A MINIMUM 1' FLAT LANDING AT BACK OF SIDEWALK OR AT BACK OF CURB IF NO SIDEWALK IS PRESENT.

2 LOCAL INTERNAL STREET SECTION

NTS

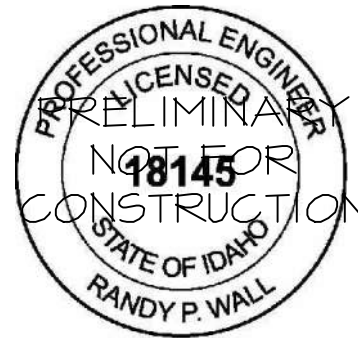


NOTES:
1. ALL CONSTRUCTION IN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO THE MOST CURRENT EDITION OF THE ISPMC AND TO THE ACHD SUPPLEMENTAL SPECIFICATIONS.
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3. ROADWAY AND DRAINAGE IMPROVEMENTS WILL BE INSPECTED BY CHD4.
4. CONTRACTOR SHALL PROVIDE A MINIMUM 1' FLAT LANDING AT BACK OF SIDEWALK OR AT BACK OF CURB IF NO SIDEWALK IS PRESENT.
5. INITIAL IMPROVEMENTS FOR ROOSTER HOLLOW ROAD MAY CONSIST OF TWO 11-FOOT TRAVEL LANES, 4-FOOT BIKE LANE, AND 2-FOOT GRAVEL SHOULDER CONSTRUCTED ENTIRELY ON THE SUBJECT PROPERTY IN ACCORDANCE WITH CHD4 REQUIREMENTS.

3 COMMERCIAL COLLECTOR TYPICAL SECTION

NTS

PROFESSIONAL
ENGINEERING
SERVICES

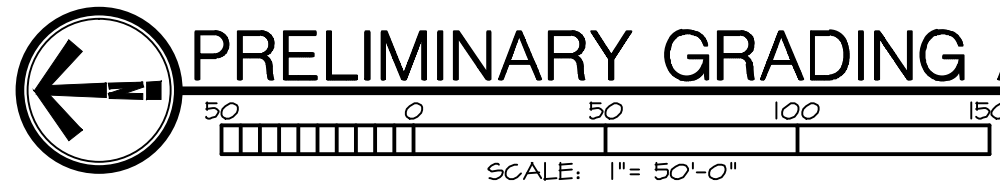


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ROOSTER HOLLOW SUBDIVISION		SCALE	
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15 ACRE PARCEL		DRAWING FILE NAME	
PROJECT NUMBER		21009 XDD	
20-22		21009 XDD	

SHEET NUMBER	
SP1.5	



EXISTING PROPERTY BOUNDARY

EXISTING PROPERTY LINE

PROPOSED LOT LINE

PROPOSED BACK OF CURB

PROPOSED FRONT OF CURB

PROPOSED CONCRETE SIDEWALK

PROPOSED PRESSURE IRRIGATION

PROPOSED DOMESTIC WATER MAIN

PROPOSED SEWER MAIN

PROPOSED FIRE HYDRANT

EXISTING CONTOUR

GRADE BREAK

FLOW DIRECTION AND GRADIENT

PROPOSED RETENTION BASIN

TOB TOB EXISTING TOP OF BANK

1. ROADWAY AND DRAINAGE IMPROVEMENTS ON THE SUBJECT PROPERTY SHALL BE IN ACCORDANCE WITH CANYON HIGHWAY DISTRICT NUMBER 4 (CHD4) STANDARDS AND WILL BE INSPECTED BY CHD4.
2. ALL STORMWATER FOR THE RESIDENTIAL ZONE, COMMERCIAL ZONE, ROADWAYS, AND THE FRONTAGE OF STATE HIGHWAY 44 SHALL BE RETAINED AND MANAGED ON-SITE.
3. STORMWATER MANAGEMENT FACILITIES SHALL BE LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY AND LIGHT AND HEAVY MAINTENANCE OF THE FACILITIES SHALL BE THE RESPONSIBILITY OF THE HOA IN THE RESIDENTIAL ZONE AND THE POA IN THE COMMERCIAL ZONE.
4. DRAINAGE IN THE RESIDENTIAL ZONE SHALL BE ROUTED TO THE RETENTION BASIN LOCATED IN BLOCK 1 LOT 1; THE RETENTION BASIN SHALL HAVE FLAT SLOPES AND IRRIGATED TURF MAINTAINED BY THE HOA IN ACCORDANCE WITH CITY OF STAR OPEN SPACE STANDARDS.
5. GRADING AND DRAINAGE REQUIREMENTS IN THE COMMERCIAL ZONE SHALL BE DETERMINED ON A SITE-BY-SITE BASIS IN ACCORDANCE WITH CITY OF STAR AND CHD4 STANDARDS.

[illegible]

[DATE: 10/1/2021 3:23 PM] [AUTHOR: csmaroda] [PLOTTER: _AutoCAD PDF (General Documentation).pc3] [STYLE: BLD Bw.ctb] [PATH: S:_projects\2021\21009 15 ac star\CAD\Sheets\Preliminary Plot\21009 Land.dwg] [LAYOUT: L1.0]

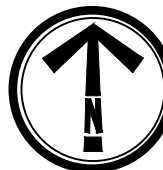
LANDSCAPE NOTES:

- CONTRACTOR SHALL REPORT TO LANDSCAPE ARCHITECT ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK PRIOR TO BEGINNING WORK.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE LANDSCAPE ARCHITECT'S PRIOR WRITTEN APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CAN NOT BE OBTAINED.
- COORDINATE ALL WORK WITH ALL OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- COORDINATE WORK SCHEDULE AND OBSERVATIONS WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION START-UP.
- ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN. PLANTS WILL BE REJECTED IF NOT IN A SOUND AND HEALTHY CONDITION.
- IN THE EVENT OF A PLANT COUNT DISCREPANCY, PLANT SYMBOLS SHALL OVERRIDE SCHEDULE QUANTITIES AND CALL OUT SYMBOL NUMBERS.
- ALL PLANTING BEDS SHALL BE COVERED WITH A MINIMUM OF 3" DEPTH OF LARGE (2" MINUS) BARK MULCH. SUBMIT SAMPLE FOR APPROVAL.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY THE OWNER. REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN A HEALTHY CONDITION IMMEDIATELY WITH THE SAME SIZE AND SPECIES AT NO COST TO THE OWNER.
- FINISH GRADES SHALL PROVIDE A SMOOTH TRANSITION WITH ADJACENT SURFACES AND ENSURE POSITIVE DRAINAGE IN ACCORDANCE WITH THE SITE GRADING PLAN.
- AMEND EXISTING APPROVED TOPSOIL AT A RATIO OF THREE CUBIC YARDS OF APPROVED COMPOST PER 1000 SQUARE FEET. ROTO-TILL ORGANIC MATTER A MINIMUM OF 6 INCHES INTO TOPSOIL.
- FERTILIZE ALL TREES AND SHRUBS WITH 'AGRIFORM' PLANTING TABLETS. QUANTITY PER MANUFACTURER'S RECOMMENDATIONS.
- ALL PLANTING BEDS SHALL HAVE A MINIMUM 18" DEPTH OF TOPSOIL. LAWN AREAS SHALL HAVE A MINIMUM 12" DEPTH OF TOPSOIL. SPREAD, COMPACT, AND FINE GRADE TOPSOIL TO A SMOOTH AND UNIFORM GRADE 3" BELOW ADJACENT SURFACES OF PLANTER BED AREAS, 1-1/2" BELOW ADJACENT SURFACES OF TURF SOD AREAS, AND 1" BELOW ADJACENT SURFACES OF TURF SEED AREAS.
- REUSE EXISTING TOPSOIL STOCKPILED ON THE SITE. SUPPLEMENT WITH IMPORTED TOPSOIL WHEN QUANTITIES ARE INSUFFICIENT. VERIFY SUITABILITY AND CONDITION OF TOPSOIL AS A GROWING MEDIUM. PERFORM SOIL TEST ANALYSIS AND ADDITIONAL AMENDMENT AS DETERMINED BY SOIL TESTS. TOPSOIL SHALL BE A LOOSE, FRIABLE, SANDY LOAM, CLEAN AND FREE OF TOXIC MATERIALS, NOXIOUS WEEDS, WEED SEEDS, ROCKS, GRASS OR OTHER FOREIGN MATERIAL AND A HAVE A PH OF 5.5 TO 7.0. IF ONGITE TOPSOIL DOES NOT MEET THESE MINIMUM STANDARDS, CONTRACTOR IS RESPONSIBLE TO EITHER:
 - PROVIDE APPROVED IMPORTED TOPSOIL, OR
 - IMPROVE ON-SITE TOPSOIL WITH METHODS APPROVED BY THE LANDSCAPE ARCHITECT.
- IF IMPORTED TOPSOIL FROM OFF-SITE SOURCES IS REQUIRED, ENSURE IT IS FERTILE, FRIABLE, NATURAL LOAM, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH.
 - OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THOSE FOUND ON THE PROJECT SITE. OBTAIN TOPSOIL ONLY FROM NATURALLY, WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT A DEPTH OF NOT LESS THAN 4 INCHES.
 - REPRESENTATIVE SAMPLES SHALL BE TESTED FOR ACIDITY, FERTILITY, TOXICITY, AND GENERAL TEXTURE BY A RECOGNIZED COMMERCIAL OR GOVERNMENT AGENCY AND COPIES OF THE TESTING AGENCY'S FINDINGS AND RECOMMENDATIONS SHALL BE FURNISHED TO THE OWNER'S REPRESENTATIVE. BY THE CONTRACTOR, NO TOPSOIL SHALL BE FROZEN IN A FROZEN OR MUDDY CONDITION, ACIDITY/ALKALINITY RANGE - PH 5.5 TO 7.6.
- IMMEDIATELY CLEAN UP ANY TOPSOIL OR OTHER DEBRIS ON THE SITE CREATED FROM LANDSCAPE OPERATIONS AND DISPOSE OF PROPERLY OFF SITE.
- TREES SHALL NOT BE PLANTED WITHIN THE 10'-0" CLEAR ZONE OF ALL A.C.H.D. STORM DRAIN PIPE, STRUCTURES, OR FACILITIES. TREES SHALL NOT BE PLANTED WITHIN 5'-0" OF AN A.C.H.D. SIDEWALK.
- ANY PERENNIAL TREES OR PLANTS THAT WILL EXTEND ROOTS DEEPER THAN 18" SHALL BE PROHIBITED OVER ACHD UNDERGROUND SEWAGE BEDS, INFRASTRUCTURE OR PIPING SYSTEMS.
- SEEPAVE BEDS AND OTHER STORM DRAINAGE FACILITIES MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.
- IN THE EVENT OF A DISCREPANCY, NOTIFY THE DESIGN PROFESSIONAL IMMEDIATELY.

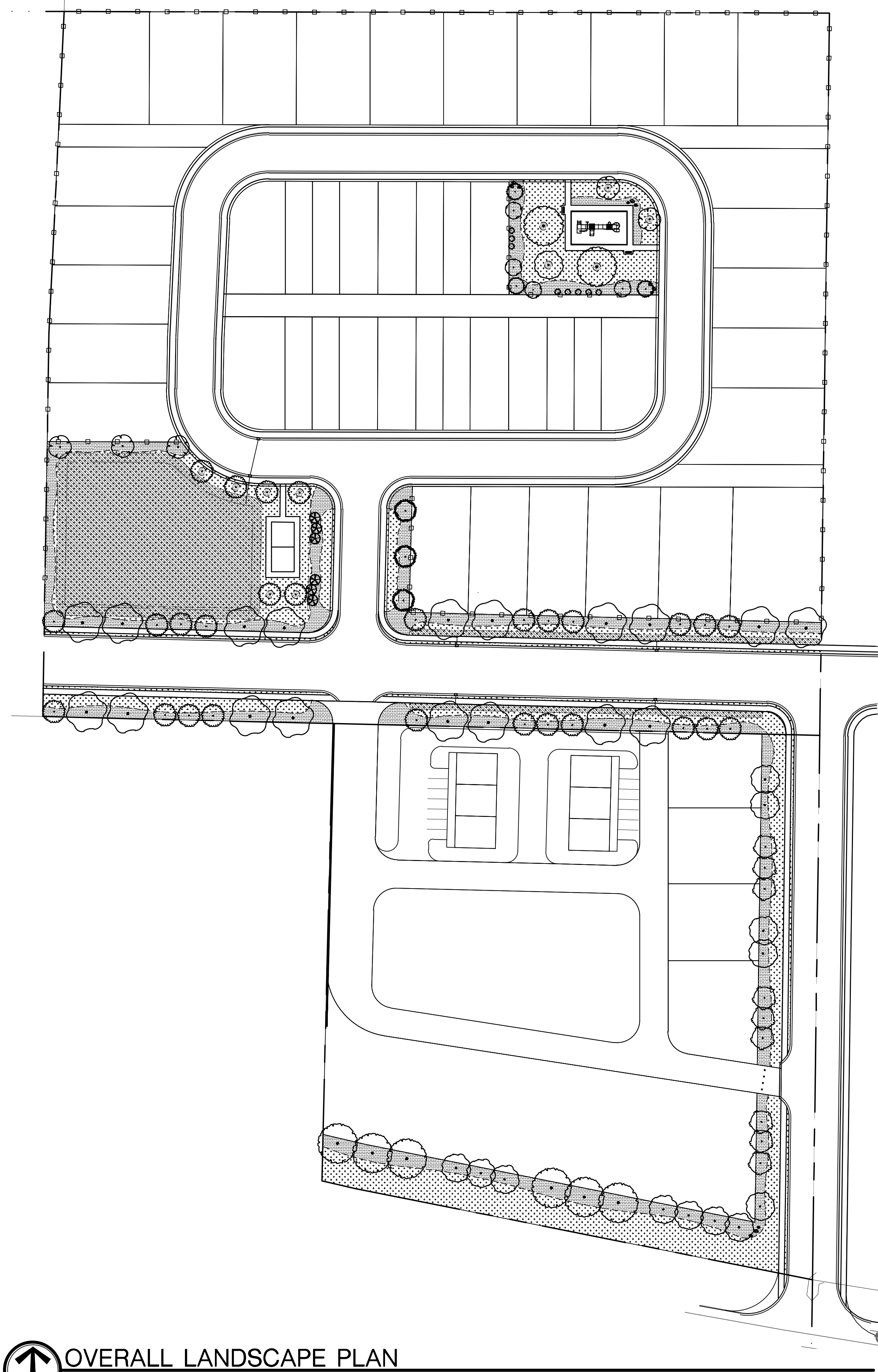
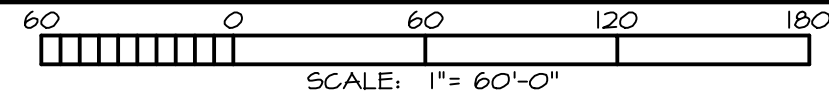
LANDSCAPE AREA

PREPARATION NOTES:

- LIMIT TURF SUBGRADE PREPARATION TO AREAS TO BE PLANTED.
- NEWLY GRADED SUBGRADES: LOOSEN SUBGRADE TO A MINIMUM DEPTH OF 4 INCHES. REMOVE STONES LARGER THAN 1 INCH IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
 - SPREAD PLANTING SOIL TO A DEPTH OF 12 INCHES IN TURF AREAS AND 18 INCHES AT SHRUB BED AREAS BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER LIGHT ROLLING AND NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
 - SPREAD PLANTING SOIL OVER LOOSENED SUBGRADE.
 - REDUCE ELEVATION OF PLANTING SOIL TO ALLOW FOR SOIL THICKNESS OF SOD OR SEED.
- UNCHANGED SUBGRADES: IF TURF IS TO BE PLANTED IN AREAS UNALTERED OR UNDISTURBED BY EXCAVATING, GRADING, OR SURFACE-SOIL STRIPPING OPERATIONS, PREPARE SURFACE SOIL AS FOLLOWS:
 - REMOVE EXISTING GRASS, VEGETATION, AND TURF. DO NOT MIX INTO SURFACE SOIL.
 - LOOSEN SURFACE SOIL TO A DEPTH OF AT LEAST 6 INCHES. PROVIDE WEED ABATEMENT PROCEDURE.
 - MIX PROPORTIONS AND MIX THOROUGHLY INTO TOP 6 INCHES OF SOIL. TILL SOIL TO A HOMOGENEOUS MIXTURE OF FINE TEXTURE. APPLY SOIL AMENDMENTS DIRECTLY TO SURFACE SOIL BEFORE LOOSENING.
 - REMOVE STONES LARGER THAN 1 INCH IN ANY DIMENSION AND STICKS, ROOTS, TRASH, AND OTHER EXTRANEOUS MATTER.
 - LEGALLY DISPOSE OF WASTE MATERIAL, INCLUDING GRASS, VEGETATION, AND TURF, OFF OWNER'S PROPERTY.
- FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH ELEVATION. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISH GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.
- MOISTEN PREPARED AREA BEFORE PLANTING IF SOIL IS DRY. WATER THOROUGHLY AND ALLOW SURFACE TO DRY BEFORE PLANTING. DO NOT CREATE MUDDY SOIL.
- BEFORE PLANTING, OBTAIN LANDSCAPE ARCHITECT'S ACCEPTANCE OF FINISH GRADING. RESTORE PLANTING AREAS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING.
- DO NOT SOW IMMEDIATELY FOLLOWING RAIN, OR WHEN GROUND IS TOO DRY. TEMPERATURE SHALL BE BETWEEN 55 F AND 45 F FOR A 24 HOUR PERIOD. WIND SHALL BE LESS THAN 5 MPH.



OVERALL LANDSCAPE PLAN



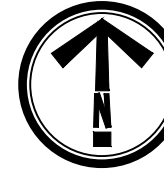
LANDSCAPE REQUIREMENTS

STATE STREET/HWY 44 BUFFERYARD				
Requirements:	LENGTH	TREES REQ'D	TREES PROVIDED	
30' BUFFER	443'	13	13	
1 TREE / 35 LF.		SHRUBS REQ'D	SHRUBS PROVIDED	
5 SHRUBS / 35 LF.		64	64	

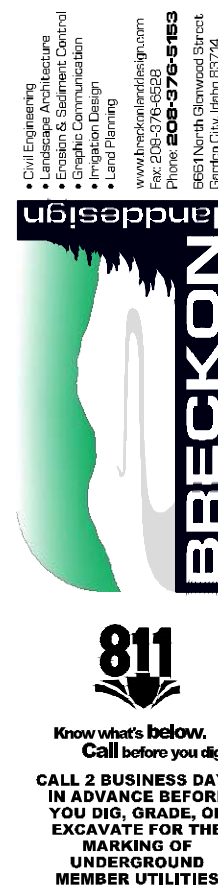
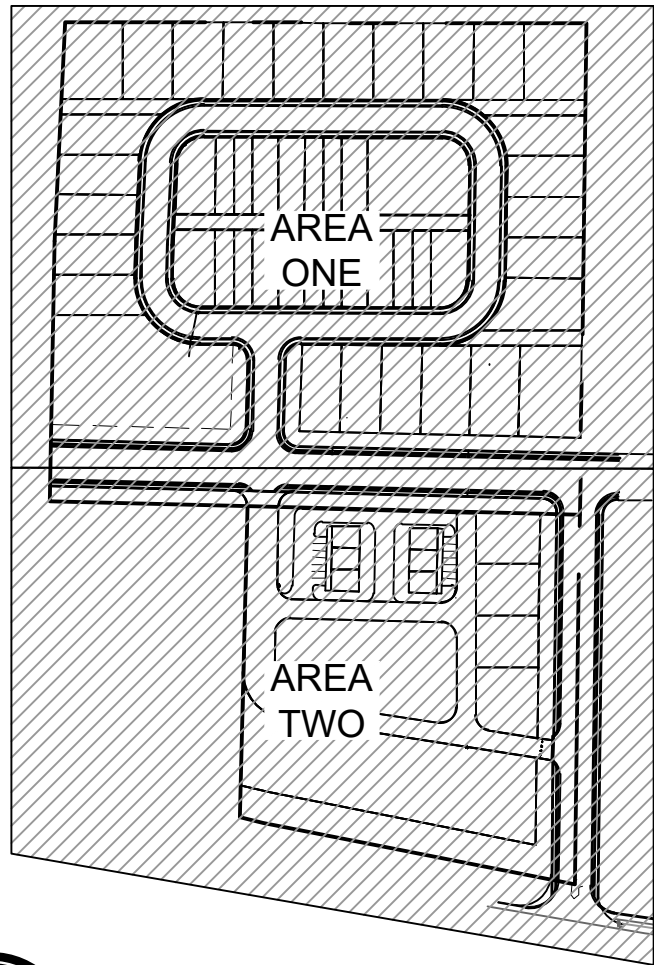
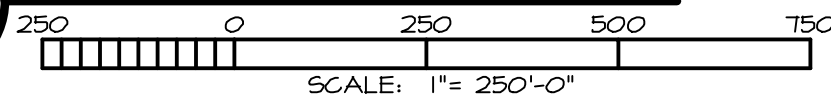
ROOSTER HOLLOW ROAD BUFFERYARD				
Requirements:	LENGTH	TREES REQ'D	TREES PROVIDED	
20' BUFFER	482'	14	14	
1 TREE / 35 LF.		SHRUBS REQ'D	SHRUBS PROVIDED	
5 SHRUBS / 35 LF.		64	64	

REMINGTON ROAD BUFFERYARD				
Requirements:	LENGTH	TREES REQ'D	TREES PROVIDED	
20' BUFFER	688'	40	40	
1 TREE / 35 LF.		SHRUBS REQ'D	SHRUBS PROVIDED	
5 SHRUBS / 35 LF.		148	148	

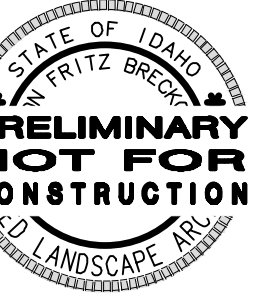
COMMON OPEN SPACE				
TOTAL SITE AREA= 625,714 S.F. (14.38 ACRES)				
43,857 (15%) COMMON OPEN SPACE REQUIRED				
103,043 (16%) COMMON OPEN SPACE PROVIDED				
62,714 (10%) USABLE OPEN SPACE REQUIRED				
43,615 (15%) USABLE OPEN SPACE PROVIDED				
2 (TWO) SITE AMENITIES REQUIRED				
2 (TWO) SITE AMENITIES PROVIDED:				
1 (ONE) PICKLEBALL COURT & 1 (ONE) TOT LOT				
RESIDENTIAL COMMON LOTS				
1 SHADE TREE / 4,000 SF				
SHADE TREES REQUIRED: 25				
SHADE TREES PROVIDED: 26				
* 50% OF REQUIRED SHADE TREES IN RESIDENTIAL AREAS MAY BE SUBSTITUTED WITH ORNAMENTAL AND EVERGREEN TREES ON A TWO-TO-ONE BASIS.				



AREA MAP



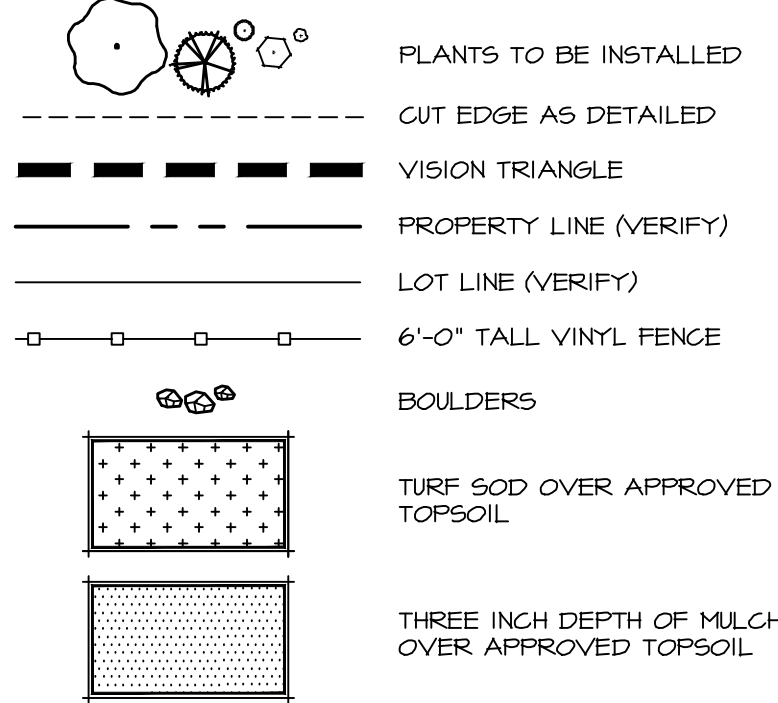
PROFESSIONAL
ENGINEERING
SERVICES



PRELIMINARY
NOT FOR
CONSTRUCTION

REVISIONS		SHEET INFO		PROJECT INFORMATION	
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REMARKS		KH		AS SHOWN	
DEVELOPMENT SERVICES SUBMITTAL		KH			
		CHECKED			
		APPROVED			
		LAST EDIT			
		PLOT DATE			
		SUBMITTAL			

LANDSCAPE LEGEND



CALLOUT LEGEND

- 40'-0" VISION TRIANGLE
- TOT LOT
- PICKLEBALL COURT
- GRASSED INFILTRATION SWALE
- 5' WIDE ATTACHED SIDEWALK
- 5' WIDE DETACHED SIDEWALK
- 2'-4" DIAMETER BOULDERS, SEE DETAIL 2/L1.2
- 6'-0" TALL VINYL FENCE, SEE DETAIL 1/L1.2

PROJECT INFORMATION

TOTAL SITE SIZE: 14.38 ACRES
PROPOSED R-5 ZONING: 9.44 ACRES
PROPOSED C-2 ZONING: 4.44 ACRES

R-5 ZONING BUILDING SETBACKS
FRONT: 15' TO LIVING AREA, 20' TO GARAGE FACE
BACK: 15'
SIDE YARD: 5' (INTERIOR), 20' (STREET)

C-2 ZONING BUILDING SETBACKS
FRONT: 20'
BACK: 5'
SIDE YARD: 0' (INTERIOR), 20' (STREET)

WIDTH OF STREET BUFFERS
STATE STREET/HWY 44: 30'
ROOSTER HOLLOW ROAD: 20'
REMINGTON ROAD: 20'

TOTAL NUMBER OF TREES: 105
TOTAL NUMBER OF TREE SPECIES: 11

ROOSTER HOLLOW SUBDIVISION

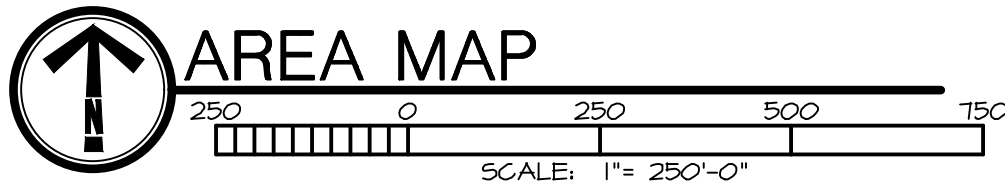
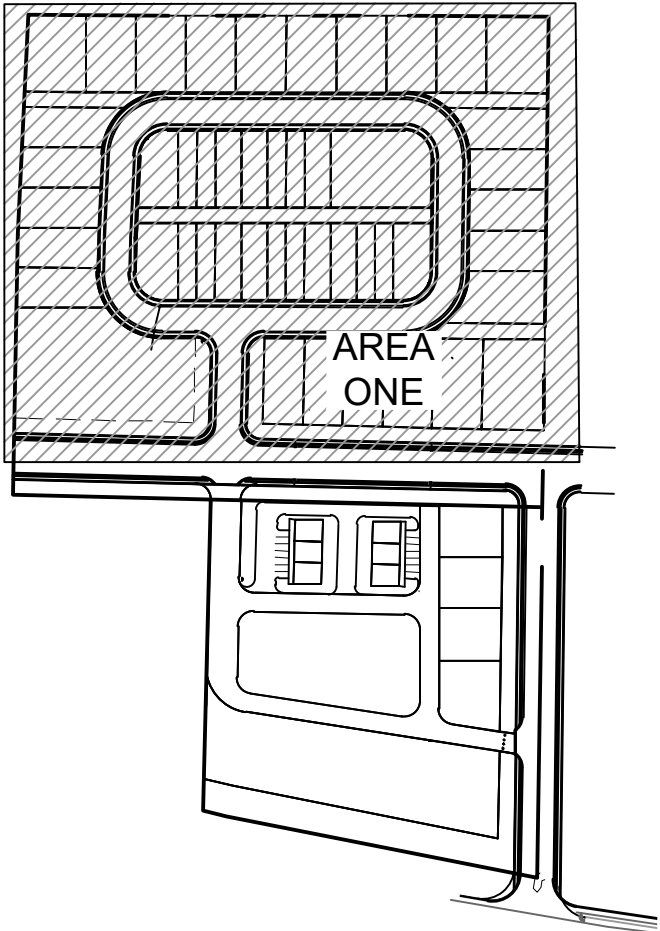
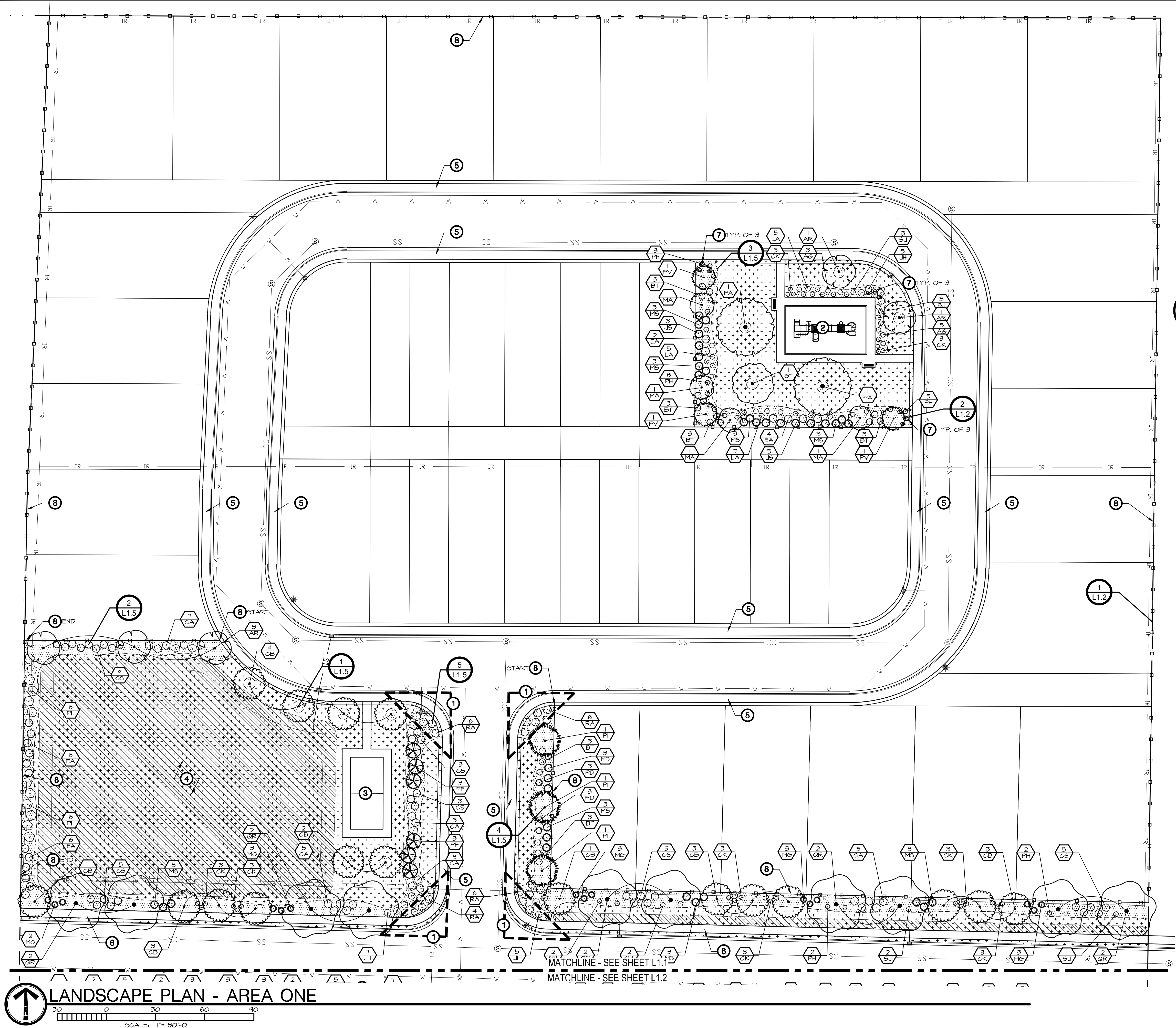
PROFESSIONAL ENGINEERING SERVICES
15 ACRE PARCEL

PROJECT NUMBER
21009

SHEET NUMBER

L1.0

[DATE: 10/1/2021 3:23 PM] [AUTHOR: csmarda] [PLOTTER: _AutoCAD PDF (General Documentation).pc3] [STYLE: BLD Bw.ctb]
[PATH: S:\projects\2021\21009 15 ac star CAD\Sheets\Preliminary Plot\21009 Land.dwg] [LAYOUT: L1.1]



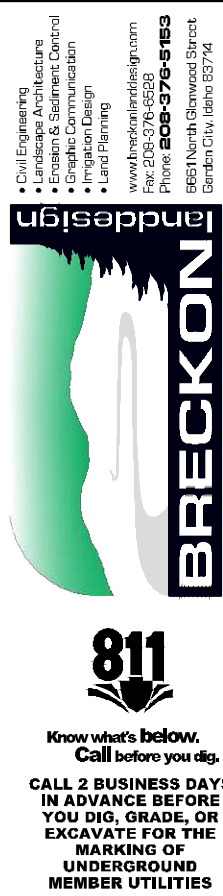
CALLOUT LEGEND

- 1 40'-0" VISION TRIANGLE
- 2 TOT LOT
- 3 PICKLEBALL COURT
- 4 GRASSED INFILTRATION SHALE
- 5 5' WIDE ATTACHED SIDEWALK
- 6 5' WIDE DETACHED SIDEWALK
- 7 2'-4" DIAMETER BOULDERS, SEE DETAIL 2/L1.2
- 8 6'-0" TALL VINYL FENCE, SEE DETAIL 1/L1.2

PLANT KEY

KEY COMMON NAME	
CONIFER TREES	
JS	Skyrocket Juniper
PF	Vanderwolf Pine
PI	Serbian Spruce
DECIDUOUS SHADE TREES	
AR	October Glory Maple
AT	Crimson Sunset Maple
CB	European Hornbeam
GT	Skyline Honeylocust
PA	London Planetree
GR	Northern Red Oak
FLOWERING ORNAMENTAL TREES	
MA	Spring Snow Crabapple
PV	Canada Red Chokeberry
SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES	
AG	Kaleidoscope Abelia
BT	Red Japanese Barberry
CA	Ivory Halo Dogwood
CK	Feather Reed Grass
CS	Yellow Twig Dogwood
EA	Compact Burning Bush
JH	Blue Rug Juniper
LA	Hidcote Lavender
MG	Gold Bar Maiden Grass
MS	Maiden Grass
PH	Dwarf Fountain Grass
PO	Diabolo Ninebark
PD	Dart's Gold Ninebark
PL	Schipka Cherry Laurel
RA	Grown Low Sumac
SJ	Goldmound Spirea

* REFER TO SHEET L1.0 FOR FULL PLANT SCHEDULE



PROFESSIONAL
ENGINEERING
SERVICES

STATE OF IOWA
JAN RITZ BRECKON
PRELIMINARY
NOT FOR
CONSTRUCTION
LANDSCAPE ARCHITECT

REVISIONS	NO.	BY	DATE	REMARKS
	0	FW	8/14/20	DEVELOPMENT SERVICES SUBMITTAL

SHEET INFO	KH	KH	JB	JB	10/01/2021	10/01/2021
DESIGN						
DRAWN						
CHECKED						
APPROVED						
LAST EDIT						
PLOT DATE						
SUBMITTAL						

ROOSTER HOLLOW SUBDIVISION

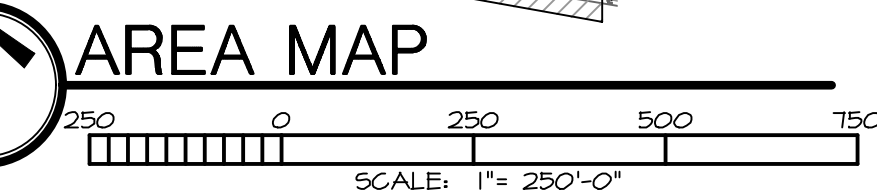
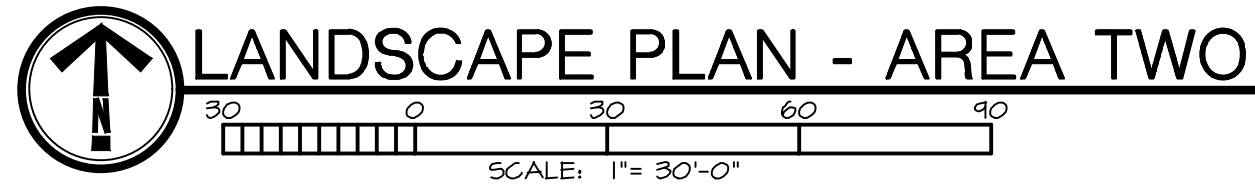
PROFESSIONAL ENGINEERING SERVICES
15 ACRE PARCEL

PROJECT NUMBER 21009
DRAWING FILE NAME 21009 LAND

SCALE AS SHOWN

SHEET NUMBER

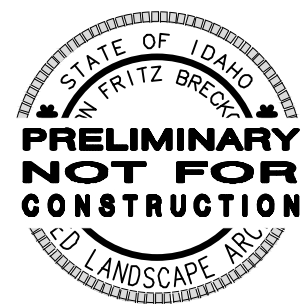
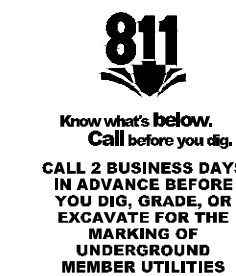
L1.1



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MG	Gold Bar Maiden Grass
MS	Maiden Grass
PH	Dwarf Fountain Grass
PO	Diablo Ninebark
PD	Dart's Gold Ninebark
PL	Shipika Cherry Laurel
RA	Grow Low Sumac
SJ	Goldmound Spirea

* REFER TO SHEET L1.0 FOR FULL PLANT SCHEDULE



ROOSTER HOLLOW SUBDIVISION

PROFESSIONAL ENGINEERING SERVICES 15 ACRE PARCEL

PROJECT NUMBER	DRAWING FILE NAME
01000	01000

PROJECT NUMBER
21000

SHEET NUMBER

L1.5

TURF AREA PREPARATION

NOTES:

- LIMIT TURF SUBGRADE PREPARATION TO AREAS TO BE PLANTED.
- NEWLY GRADED SUBGRADES: LOOSEN SUBGRADE TO A MINIMUM DEPTH OF 4 INCHES. REMOVE STONES LARGER THAN 1 INCH IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEUS MATTER AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
- SPREAD PLANTING SOIL OVER LOOSENED SUBGRADE.
- REDUCE ELEVATION OF PLANTING SOIL TO ALLOW FOR SOIL THICKNESS OF SOD.
- UNCHANGED SUBGRADES: IF TURF IS TO BE PLANTED IN AREAS UNALTERED OR UNDISTURBED BY EXCAVATING, GRADING, OR SURFACE-SOIL STRIPPING OPERATIONS, PREPARE SURFACE SOIL AS FOLLOWS:
 - REMOVE EXISTING GRASS, VEGETATION, AND TURF. DO NOT MIX INTO SURFACE SOIL.
 - LOOSEN SURFACE SOIL TO A DEPTH OF AT LEAST 6 INCHES. APPLY SOIL AMENDMENTS AND FERTILIZERS ACCORDING TO PLANTING SOIL MIX PROPORTIONS AND MIX THOROUGHLY INTO TOP 6 INCHES OF SOIL. TILL SOIL TO A HOMOGENEOUS MIXTURE OF FINE TEXTURE.
- APPLY SOIL AMENDMENTS DIRECTLY TO SURFACE SOIL BEFORE LOOSENING:
 - REMOVE STONES LARGER THAN 1 INCH IN ANY DIMENSION AND STICKS, ROOTS, TRASH, AND OTHER EXTRANEUS MATTER.
 - LEGALLY DISPOSE OF WASTE MATERIAL, INCLUDING GRASS, VEGETATION, AND TURF, OFF OWNER'S PROPERTY.
- FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH ELEVATION. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISH GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.
- MOISTEN PREPARED AREA BEFORE PLANTING IF SOIL IS DRY. WATER THOROUGHLY AND ALLOW SURFACE TO DRY BEFORE PLANTING. DO NOT CREATE MUDDY SOIL.
- BEFORE PLANTING, OBTAIN LANDSCAPE ARCHITECT'S ACCEPTANCE OF FINISH GRADING; RESTORE PLANTING AREAS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING.

TOPSOIL NOTES

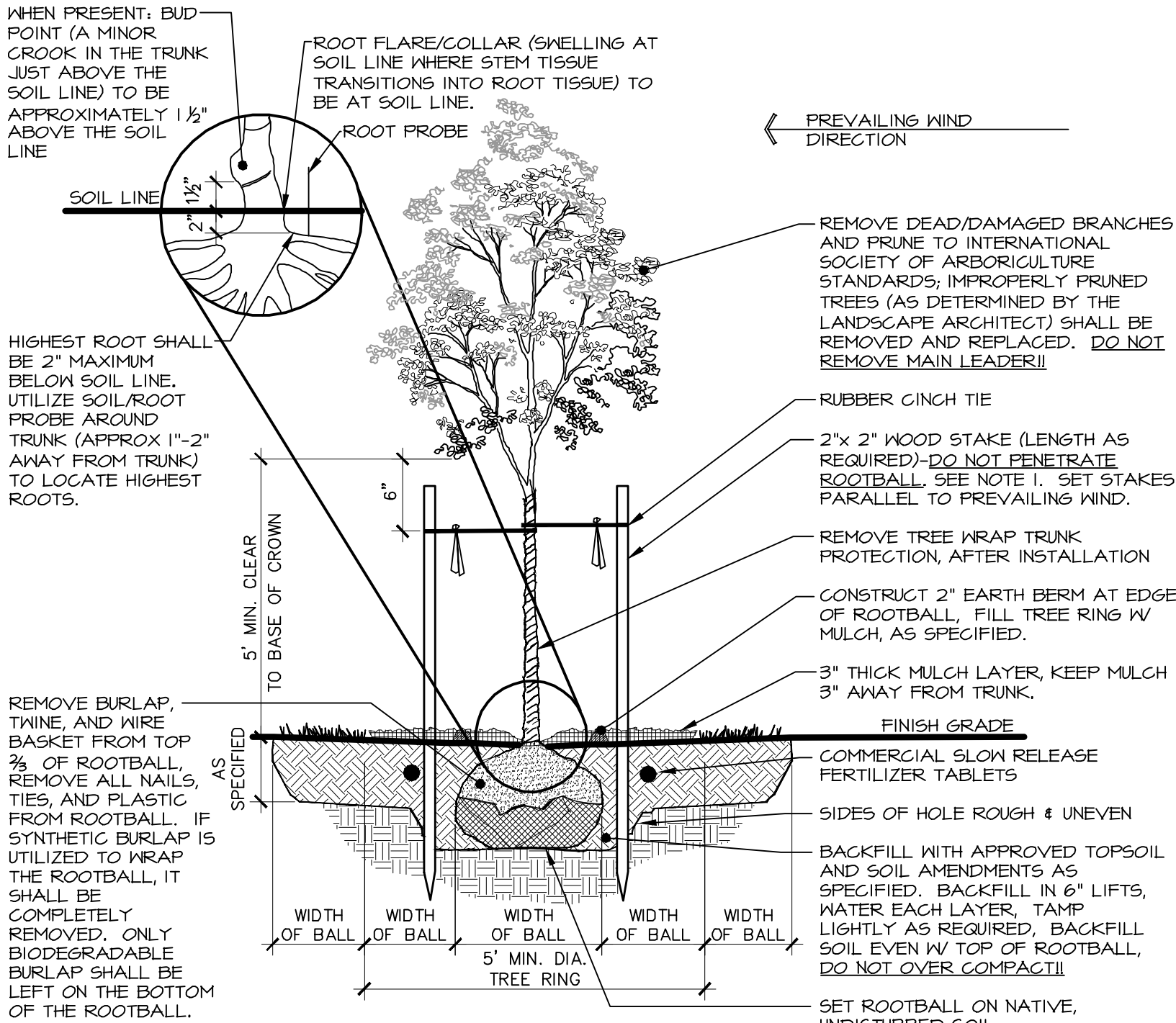
- TOPSOIL REQUIREMENTS: ASTM D 5268, PH RANGE OF 5.5 TO 7, FOUR PERCENT ORGANIC MATERIAL, MINIMUM, FREE OF STONES 1/2 INCH OR LARGER IN ANY DIMENSION, AND OTHER EXTRANEUS MATERIALS HARMFUL TO PLANT GROWTH.
- TOPSOIL SOURCE: STRIP EXISTING TOPSOIL FROM ALL AREAS OF THE SITE TO BE DISTURBED. TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY, LUMPS, BRUSH, WEEDS, AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, ORGANIC MATTER, LARGER THAN 2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. TOPSOIL SHALL BE SCREENED TO ACHIEVE THIS REQUIREMENT.
- REPRESENTATIVE SAMPLES SHALL BE TESTED FOR ACIDITY, FERTILITY AND GENERAL TEXTURE BY A RECOGNIZED COMMERCIAL OR GOVERNMENT AGENCY AND COPIES OF THE TESTING AGENCY'S FINDINGS AND RECOMMENDATIONS SHALL BE FURNISHED TO THE ARCHITECT'S REPRESENTATIVE BY THE CONTRACTOR. ALL TOPSOIL SHALL BE AMENDED TO ACHIEVE SPECIFIED PH AND ORGANIC REQUIREMENTS. RE-TEST TOPSOIL PRIORS TO FINAL COMPLETION TO ENSURE REQUIREMENTS HAVE BEEN MET. NO TOPSOIL SHALL BE PLACED WHILE IN A FROZEN OR MUDDY CONDITION.
- PLACE TOPSOIL IN AREAS WHERE REQUIRED TO OBTAIN THICKNESS AS SCHEDULED, PLACE TOPSOIL DURING DRY WEATHER. PROVIDE ADDITIONAL IMPORTED TOPSOIL REQUIRED TO BRING SURFACE TO PROPOSED FINISH GRADE, AS REQUIRED.
- COMPACTED TOPSOIL THICKNESS AT THE FOLLOWING AREAS:
 - LAWN AREAS: 9 INCHES MINIMUM OR AS NECESSARY TO ACHIEVE EVEN GRADES WITH SURROUNDING LAWN AREAS.
 - PLANTER BEDS: 18 INCHES MINIMUM.
- FINE GRADE TOPSOIL TO SMOOTH, EVEN SURFACE WITH LOOSE, UNIFORMLY FINE TEXTURE. REMOVE RIDGES AND FILL DEPRESSIONS, AS REQUIRED TO MEET FINISH GRADES. FINISH GRADE OF TOPSOIL SHALL BE 2" BELOW FINISH GRADE OF PAVEMENTS AREAS FOR SOD AND 1" FOR SEED.
- TOPSOIL STOCKPILE LOCATIONS TO BE COVERED COORDINATE WITH EROSION AND SEDIMENT CONTROL PLAN.
- ALL GRAVEL, SUBBASE, AND OTHER IMPORTED FILL MATERIALS OTHER THAN TOPSOIL SHALL ONLY BE STOCKPILED IN PROPOSED IMPERVIOUS AREAS. NO GRAVEL OR ROCK MATERIALS SHALL BE STOCKPILED OR TEMPORARILY PLACED IN PROPOSED LANDSCAPE AREAS TO PREVENT LANDSCAPE AREAS FROM BEING CONTAMINATED WITH ROCK MATERIALS. CONTRACTOR SHALL SUBMIT A DETAILED STOCKPILE PLAN TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO ANY EARTHWORK OPERATIONS.

WEED ABATEMENT NOTES:

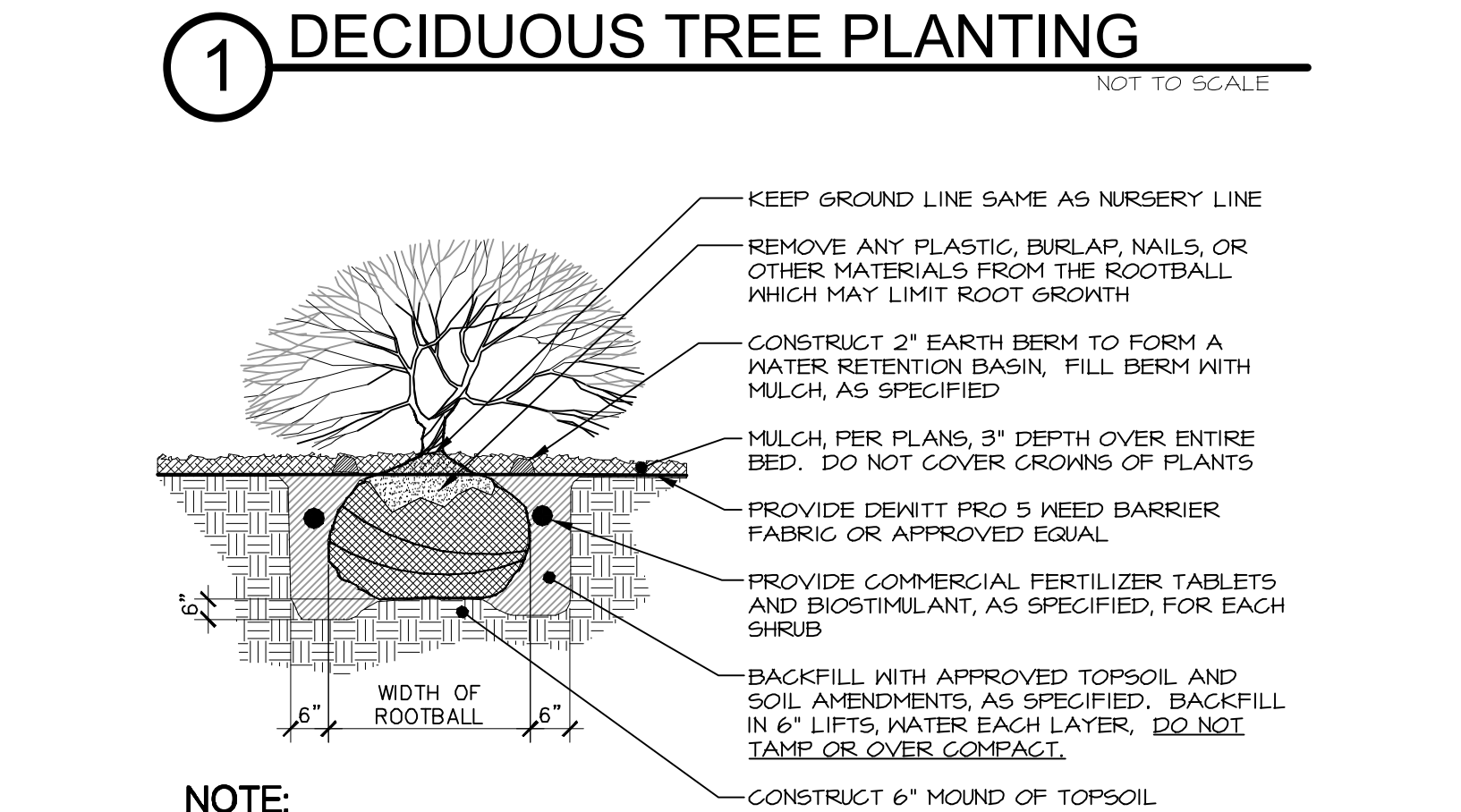
- ALL AREAS TO BE PLANTED OR HYDROSEEDED SHALL HAVE WEED ABATEMENT OPERATIONS PERFORMED ON THEM PRIOR TO PLANTING OR HYDROSEEDING.
- CONTRACTOR SHALL SPRAY ALL EXPOSED WEEDS WITH @ROUND-UP (CONTACT HERBICIDE) OR APPROVED EQUAL.
- DO NOT WATER FOR AT LEAST SEVEN (7) DAYS. REMOVE EXPOSED WEEDS FROM THE SITE.
- CONTRACTOR SHALL OPERATE THE AUTOMATIC IRRIGATION SYSTEM FOR A PERIOD OF FOURTEEN (14) DAYS. AT CONCLUSION OF THIS WATERING PERIOD, DISCONTINUE WATERING FOR THREE TO FIVE (3-5) DAYS.
- APPLY SECOND APPLICATION OF @ROUND-UP TO ALL EXPOSED WEEDS. APPLY IN STRICT CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS. DO NOT WATER FOR AT LEAST SEVEN (7) DAYS. REMOVE WEEDS FROM THE SITE.
- IF ANY EVIDENCE OF WEED GERMINATION EXISTS AFTER TWO (2) APPLICATIONS, CONTRACTOR SHALL BE DIRECTED TO PERFORM A THIRD APPLICATION.
- AT THE TIME OF PLANTING AND HYDROSEEDING, ALL PLANTING AREAS SHALL BE WEED FREE.

IRRIGATION NOTES:

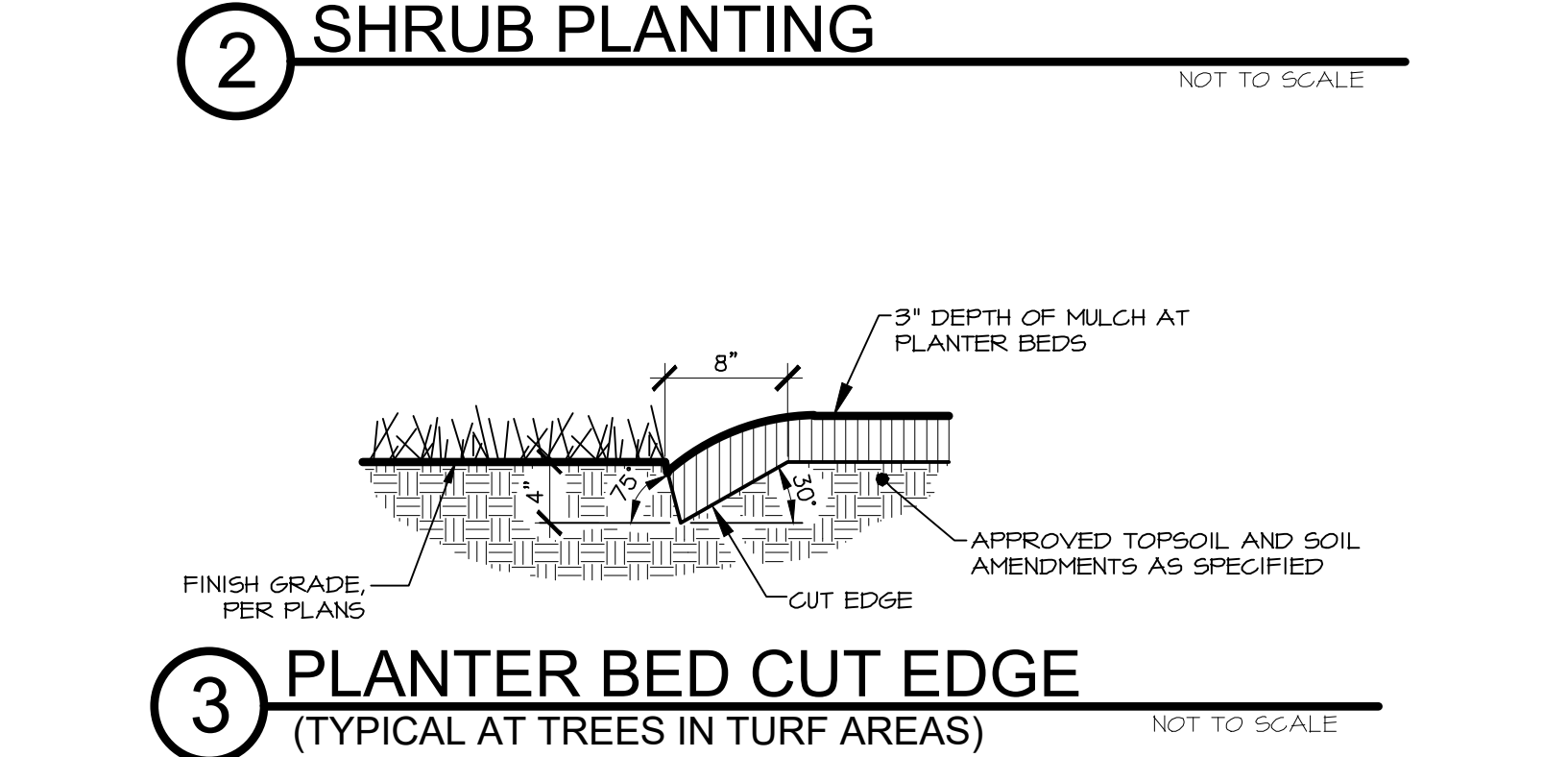
- ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH INSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES. EACH HYDROZONE IS TO BE IRRIGATED WITH SEPARATE INDIVIDUAL STATIONS.
- PLANTER BEDS AND LAWN AREAS ARE TO HAVE SEPARATE HYDRO-ZONES.
- POP-UP SPRINKLER HEADS SHALL HAVE A MINIMUM RISER HEIGHT OF 4 INCHES AT LAWN AREAS AND 18" AT PLANTER BEDS.
- PLANTER BEDS ARE TO HAVE DRIP IRRIGATION SYSTEM OR POP-UP SPRAY SYSTEM. ANNUALS, PERENNIALS, GROUND COVERS OR SHRUB MASSINGS SHALL HAVE A POP-UP SPRAY SYSTEM.
- ELECTRONIC WATER DISTRIBUTION/ TIMING CONTROLLERS ARE TO BE PROVIDED. MINIMUM CONTROLLER REQUIREMENTS ARE AS FOLLOWS:
 - PRECISE INDIVIDUAL STATION TIMING
 - RUN TIME CAPABILITIES FOR EXTREMES IN PRECIPITATION RATES
 - AT LEAST ONE PROGRAM FOR EACH HYDROZONE
 - SUFFICIENT MULTIPLE CYCLES TO AVOID WATER RUN-OFF
 - POWER FAILURE BACKUP FOR ALL PROGRAMED INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES
- INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% HEAD TO HEAD COVERAGE WITH TRIANGULAR SPACING.
- SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ONTO IMPERVIOUS SURFACES (BUILDINGS, SIDEWALKS, DRIVEWAYS, AND ASPHALT AREAS).
- PROVIDE MINIMUM (1) QUICK COUPLER VALVE PER EACH (6) AUTOMATIC VALVE ZONES. APPROVE Q.C.V. LOCATIONS WITH LANDSCAPE ARCHITECT.



- NOTES:**
- THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION; HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR LENGTH OF WARRANTY PERIOD OR 1 YEAR AFTER SUBSTANTIAL COMPLETION WHICHEVER IS GREATER. ALL STAKING SHALL BE REMOVED AT THE END OF THE WARRANTY PERIOD.
 - IN THE EVENT OF A QUESTION OR LACK OF CLARITY ON THE DRAWINGS, THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
 - LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PLANT MATERIAL.
 - WRAP RUBBER CINCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TYING METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPPAGE.
 - WATER TREE TWICE WITHIN THE FIRST 24 HOURS.
 - IN THE EVENT HARDPAN SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.
 - FOR TREES LOCATED WITHIN ROADSIDE PLANTERS LESS THAN 8'-0" IN WIDTH, PROVIDE TREE ROOT BARRIER (DEEPROOT #24-2 OR APPROVED EQUAL). LOCATE ROOT BARRIER AT BACK OF CURB AND EDGE OF SIDEWALK. ALL TREE INSTALLATIONS SHALL CONFORM TO ALL AGENCY APPROVAL REQUIREMENTS, CONTRACTOR SHALL VERIFY PRIOR TO ANY INSTALLATIONS.



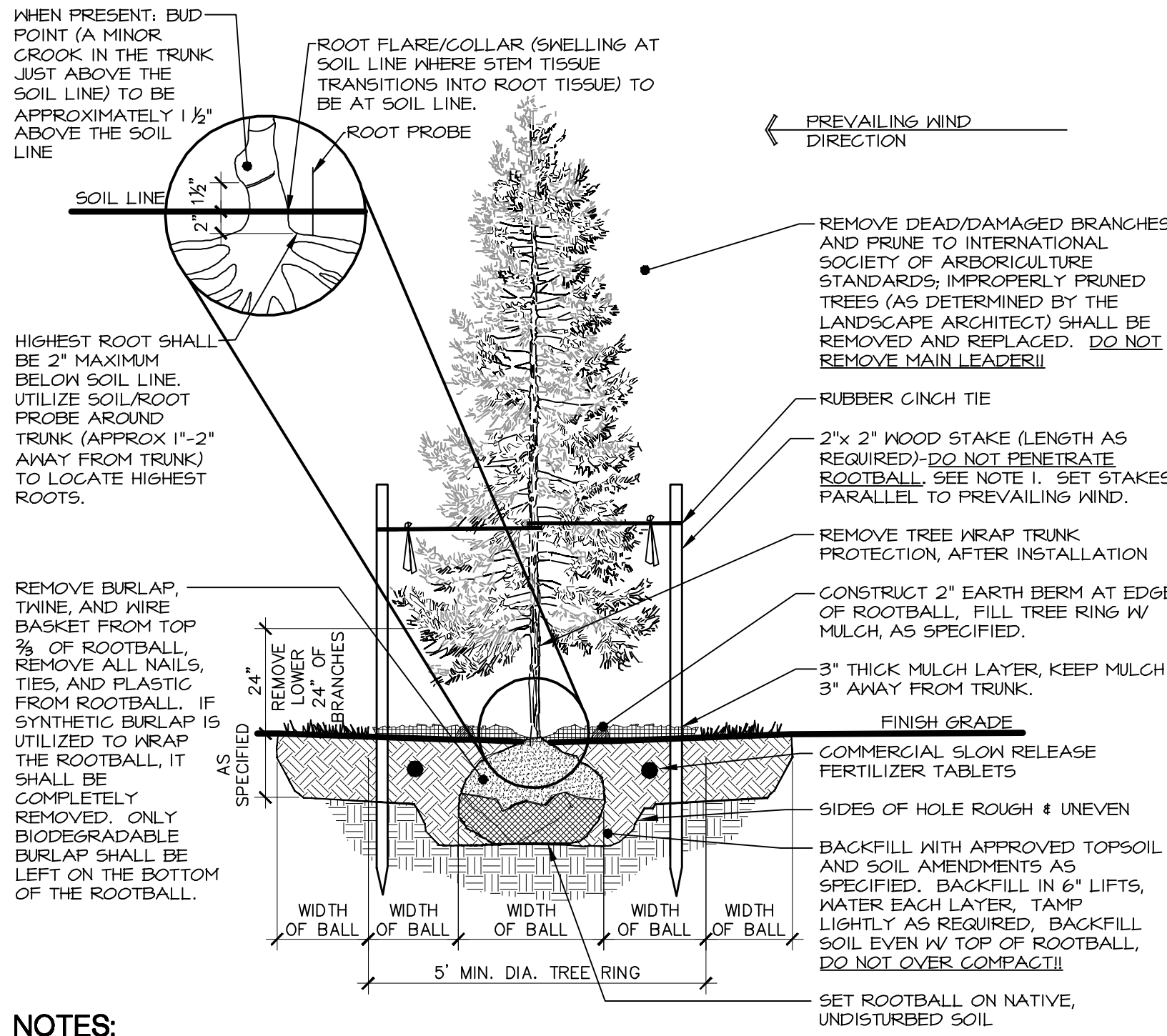
- NOTE:**
- WATER SHRUB TWICE WITHIN FIRST 24 HOURS.
 - APPLY SPECIFIED PRE-EMERGENT PER MANUFACTURER'S RECOMMENDATIONS TO ALL GROUNDCOVER BEDS.



1 DECIDUOUS TREE PLANTING

NOTES:

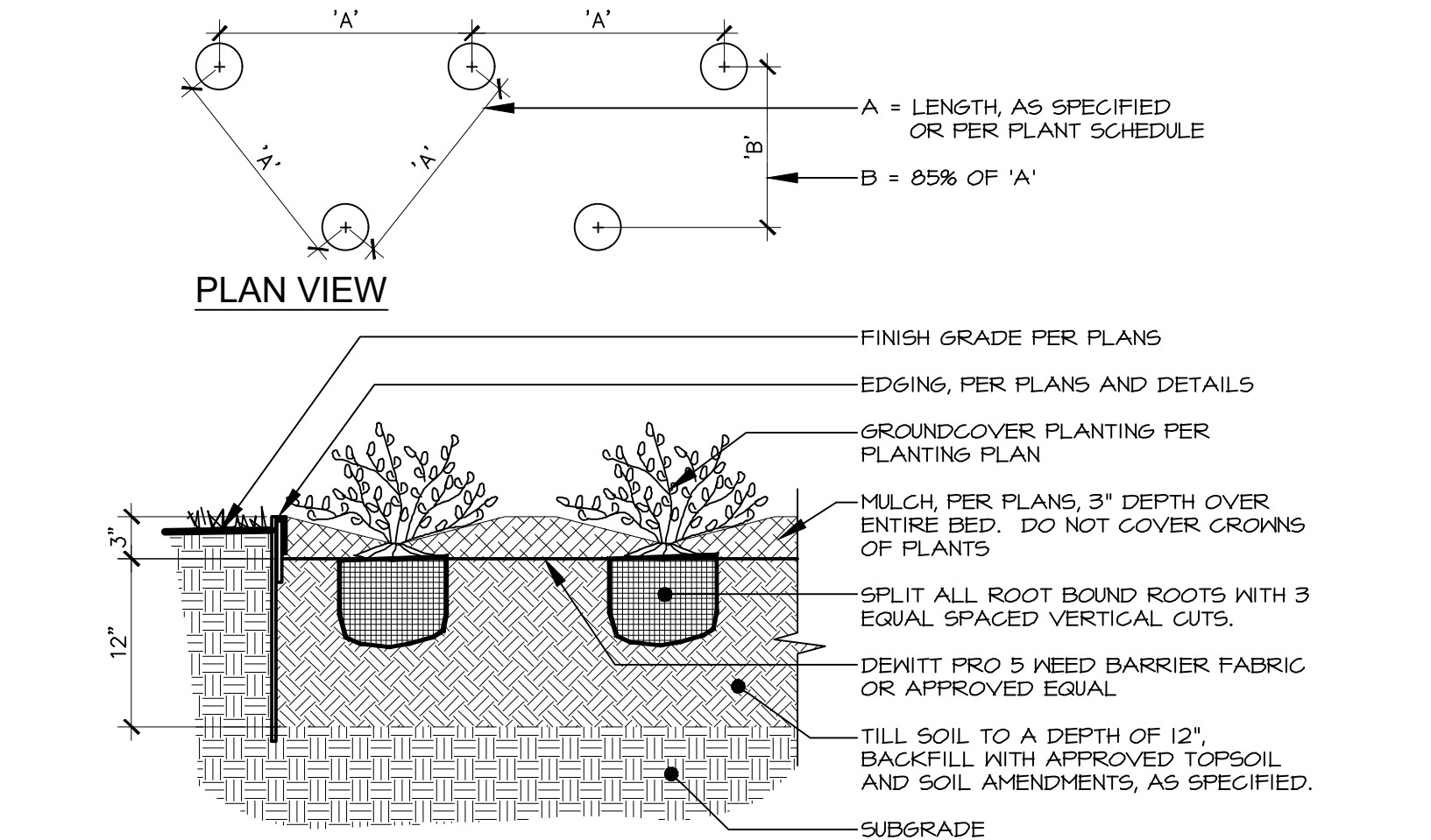
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 - IN THE EVENT HARDPAN SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.

4 CONIFEROUS TREE PLANTING

NOT TO SCALE



- NOTES:**
- ALL GROUNDCOVER PLANTS TO BE PLANTED ON CENTER AND IN A TRIANGULAR PATTERN.
 - APPLY SPECIFIED PRE-EMERGENT PER MANUFACTURER'S RECOMMENDATIONS TO ALL GROUNDCOVER BEDS.

5 PERENNIAL & GROUNDCOVER PLANTING

Scale: 1"= 1'-0"



PROFESSIONAL
ENGINEERING
SERVICES

STATE OF IOWA
PRELIMINARY
NOT FOR
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ROOSTER HOLLOW SUBDIVISION

PROFESSIONAL ENGINEERING SERVICES
15 ACRE PARCEL

PROJECT NUMBER
21009

DRAWING FILE NAME
21009 LAND

SHEET NUMBER
L1.5

SCALE
AS SHOWN







BASIS OF BEARING
N89°52'38"W - 1355.17'

CW 1/16
1/2" REBAR
NO CAP
CP&F #1999031809
P.O.B.
R-5 RESIDENTIAL

R34022010A0
TAMBORNINI NICOLAS A
REVOCABLE LIVING TRUST
22492 BLESSINGER RD
STAR, ID 83669

R3402201100
TAYLOR CARSON AND
NICOLE REVOCABLE TRUST
22464 BLESSINGER RD
STAR, ID 83669

R3401600000
WELLESSEIFERT
22374 BLRDDINHRT RD
STAR, ID 83669

"AS NOTED"
"AS NOTED"

R

R3401700000
DELBERT L & THERESA A
ELWOOD
6926 HWY 44
STAR, ID 83669

CLEAN OUT

RY LINE

4T

R3401801000
MELVIN & LISA
JACKSON
6820 HWY 44
STAR, ID 83669

LOTS 1-6 IN THIS BLOCK
ARE LIVE-WORK UNITS

R3401801000
EDWARD R & CHERYL A
CHENEY
6852 HWY 44
STAR, ID 83669

ACK OF CURB
RONT OF CURB
ONCRETE SIDEWALK
RESSURE IRRIGATION
ANITARY SEWER MAINLINE
EWER SERVICE
ANITARY SEWER MANHOLE
OMESTIC WATER MAIN
ATER SERVICE
RE HYDRANT

NOTE:

RESIDENTIAL AREA = 433,202 sqft. - 9.94 ac.
COMMERCIAL AREA = 193,368 sqft. - 4.44 ac.
TOTAL AREA = 626,570 sqft. - 14.38 ac.

TOTAL SINGLE FAMILY RESIDENCE LOTS = 26
TOTAL 4-PLEX LOTS = 20
TOTAL DWELLING UNITS = 46

RESIDENTIAL DENSITY = 46/9.94 ac. = 4.6 DU/AC

TOTAL LIVE/WORK UNITS = 6
TOTAL DWELLING UNITS ENTIRE SITE = 52
RESIDENTIAL DENSITY ENTIRE SITE = 52/14.38 ac. = 3.6 DU/AC

Phase 1
R-5 Zoning
9.94 acres

Phase 2
C-2 Zoning
4.44 acres

FIRE DEPARTMENT NO-BUILD
AREA - 150' FROM ROAD -
TYPICAL

R3401900000
KELLEY FAMILY REVOCAB
LIVING TRUST
6684 HWY 44
STAR, ID 83669

P.O.B.
C-2 COMMERCIAL

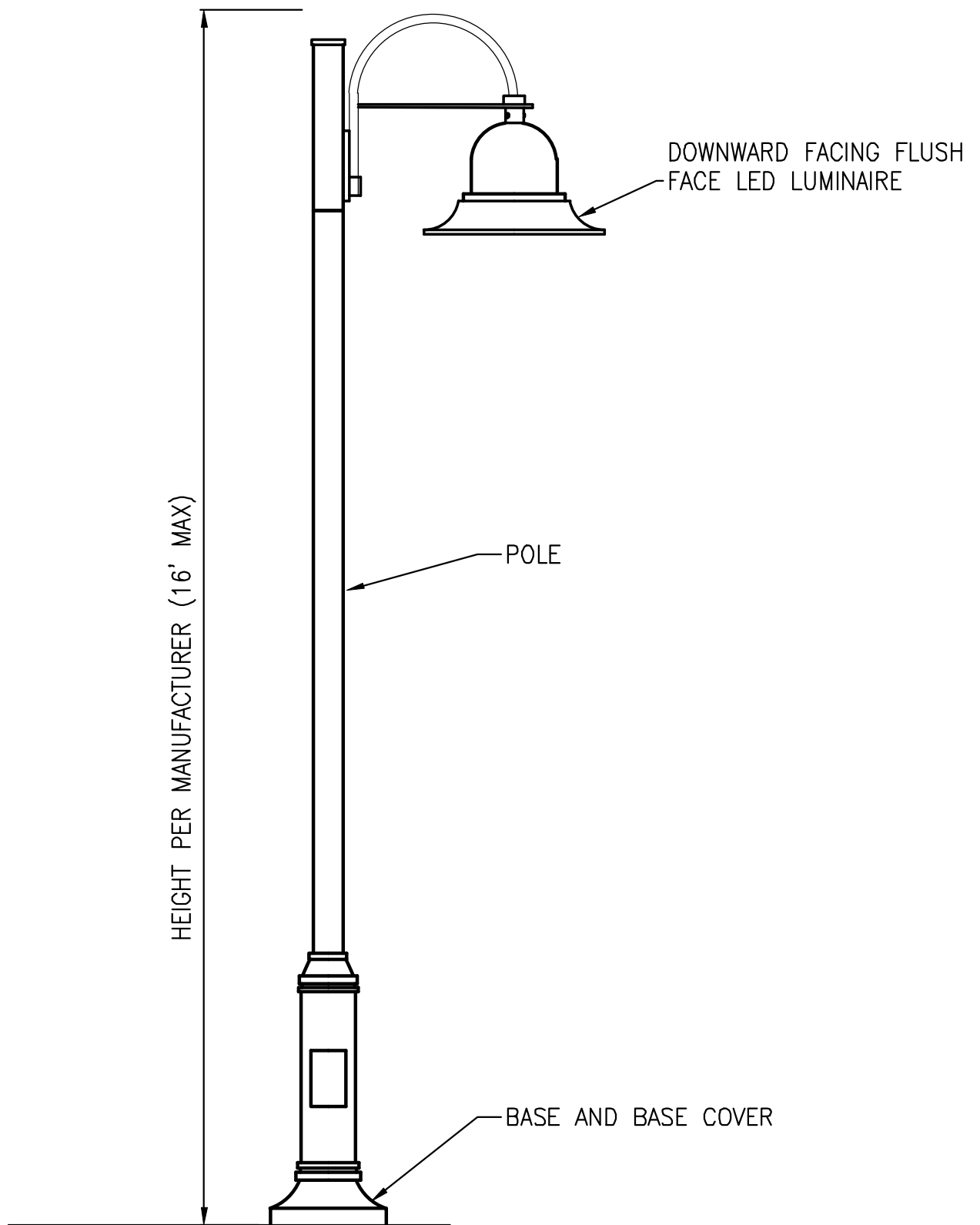
LOTS 1-4 IN THIS BLOCK ARE
FOR LIGHT-MANUFACTURING

COMMERCIAL AREA
APPROX. 0.46 AC.

COMMERCIAL AREA
APPROX. 0.80 AC.

Phasing Plan for
ROOSTER HOLLOW SUBDIVISION
N.T.S.

SW 1/16
NOTHING FOUND
OR SET



NOTES:

- LIGHT MANUFACTURER AND MODEL PER CITY OF STAR

1 Streetlight

Scale: NTS

MIDDLETON RURAL FIRE DISTRICT



Rooster Hollow Subdivision

STAR FIRE PROTECTION DISTRICT

DATE: October 5, 2021

TO: City of Star, Planning & Zoning

FROM: Victor Islas, Deputy Chief

SUBJECT: Fire District Review

PROJECT NAME: Rooster Hollow Subdivision (RZ-21-03, DA-21-18, PUD-21-02, PP-21-07)

Fire District Summary Report:

Overview: This development can be serviced by the Star Fire Protection District. This development shall comply with the 2018 International Fire Code (IFC) and any codes set forth by the City of Star, Idaho.

Fire Response Time: This development will be served by the Star Fire Protection District Station 51, located at 11655 W. State St., Star, Idaho. Station 51 is 1.5 miles with a travel time of 2 minutes under ideal driving conditions to the purposed entrance Hwy 44.

Accessibility: Roadway Access, Traffic, Radio Coverage

Access roads shall be provided and maintained following Appendix D and Section 503 of the IFC. Access shall include adequate roadway widths, signage, turnarounds, and turning radius for fire apparatus.

Access road design shall be designed and constructed to allow for evacuation simultaneously with emergency response operations.

All access roads in this development shall remain clear and unobstructed during construction of the development. Additional parking restrictions may be required as to always maintain access for emergency vehicles. Hydrants shall always remain unobstructed per city code.

One- or two-family dwelling residential developments: Developments of one- or two-family dwellings where the number of dwelling units exceeds 30 shall provide with at least two separate and approved fire apparatus access roads.

Additional access will be required for commercial zone.

NO PARKING Signs per IFC D103.6 alleyways.

The fire district requires that Autoturn models be submitted for review. Autoturn models should be reflect the utilization of a 36' long fire engine and a 50' long ladder truck.

Traffic calming devices will require approval by the Fire District.

An unobstructed vertical clearance of no less than 13 feet 6 inches shall be always maintained.

(208) 286-7772
11665 W. STATE ST., SUITE B
STAR, IDAHO 83669



MIDDLETON RURAL FIRE DISTRICT

Rooster Hollow Subdivision

STAR FIRE PROTECTION DISTRICT

The applicant shall work with City of Star, Ada County and Fire District to provide an address identification plan and signage which meets the requirements set forth by each agency. Addressing shall be placed in a position that is plainly legible and visible from the street or road fronting the property, as set forth in International Fire Code Section 505.1

Upon commencement of initial construction of a new structure, a clear visible freestanding sign or post shall be erected and maintained in place until the permanent address numerals are attached or otherwise displaced upon the premises at completion.

Per Star City Code 8-6B-2-H Flag lots are prohibited, unless approved by the Fire District. Developer to meet with Fire District to review flag lots.

Water Supply:

Water supply requirements will be followed as described in Appendix B of the 2018 International Fire Code unless agreed upon by the Fire District.

1. Fire Flow: One- and two-family dwellings not exceeding 3,600 square feet require a fire-flow of 1,000 gallons per minute for a duration of 1 hours to service the entire project. One- and two-family dwellings in excess of 3,600 square feet require a minimum fire flow as specified in Appendix B of the International Fire Code.
2. Fire Sprinkler systems may be required for multi-family buildings.
3. Fire Sprinkler systems may be required for commercial buildings. Fire flow per IFC.
4. Additional Fire Hydrants will be required in commercial area.
5. Water Supply: Acceptance of the water supply for fire protection will be by the Fire District and water quality by the Star Sewer & Water District for bacteria testing.
6. Water Supply: Final Approval of the fire hydrant locations shall be by the Star Fire Protection District or their designee in accordance with International Fire Code Section (IFC) 508.5.4 as follows:
 - a. Fire hydrants shall have a Storz LDH connection in place of the 4 1/2" outlet. The Storz connection may be integrated into the hydrant, or an approved adapter may be used on the 4 1/2" outlet.
 - b. Fire hydrants shall have the Storz outlet face the main street or parking lot drive aisle.
 - c. Fire hydrants shall be placed on corners when spacing permits.
 - d. Fire hydrants shall not have any vertical obstructions to outlets within 10'.
 - e. Fire hydrants shall be placed 18" above finished grade to the center of the Storz outlet.
 - f. Fire hydrants shall be provided to meet the requirements of the City of Star and Star Sewer and Water District Standards.
 - g. Show all proposed or existing hydrants for all new construction or additions to existing buildings within 1,000 feet of the project.

Inspections:

Final inspection by the Fire District of the above listed including hydrant flow must be completed before building permits are issued

MIDDLETON RURAL FIRE DISTRICT



Rooster Hollow Subdivision

STAR FIRE PROTECTION DISTRICT

Additional Comments:

Side Setback as per City Code. Any modification to setback will require review and approval by the Fire District.

Streetlights shall be turned on once residential building begins, Lighting is essential in assisting first responders with identifying entrances safely while responding to calls for service.

Additional life safety review and permits will be required for commercial and residential buildings prior to construction.

(208) 286-7772
11665 W. STATE ST., SUITE B
STAR, IDAHO 83669



131 SW 5th Ave, Suite A
Meridian, ID 83642
(208) 288-1992

July 13, 2021

Mayor Trevor Chadwick
City of Star
P.O. Box 130
Star, ID 83669

Re: Rooster Hollow Subdivision Preliminary Plat Application

Dear Mayor:

Keller Associates, Inc. has reviewed the Preliminary Plat for the Rooster Hollow Subdivision dated May 26, 2021. We reviewed the applicant's package to check conformance with the City's Subdivision Ordinance and coordinated our review with Shawn L. Nickel. We have the following comments and questions based on our review.

1. Nearly all bearings shown on the plat are 180° off from the legal description (NE instead of SW, etc.). Please match bearings on the plat to the legal description.
2. No easements are listed anywhere on the plat. Easements will be required for all utilities outside public right of way, and these need to be noted on the preliminary plat.
3. Street lights are required at every intersection, cul-de-sac, and road corner. Some intersections are missing street lights; please add lights at every required location. Streetlighting shall be in accordance with ISPWC and the City of Star Supplementals. Cut sheet for lights and light poles shall be approved in writing by the City prior to installation.
4. Please provide street names for proposed street improvements.
5. There is no landscaping plan included, which is required for preliminary plats. Landscape plans, including fencing, buffer areas, and street trees, will have to conform to the City subdivision ordinance.
6. Applicant needs to explain proposed stormwater disposal plan for local roads as well as State Highway 44. It is unclear if the project is proposing offsite stormwater disposal to drain ditches. If so, plan approvals and license agreements from the affected irrigation ditch companies will be required.
7. Potable water cannot be used for irrigation purposes. A separate pressure irrigation system will be required. Construction plans for a subdivision-wide pressure irrigation system will be required for each final plat. Plan approvals and license agreements from the affected irrigation and/or canal companies will be required.
8. Historic irrigation lateral, drain, and ditch flow patterns shall be maintained unless approved in writing by the local irrigation district or ditch company.

9. Finish grades at subdivision boundaries shall match existing finish grades. Runoff shall be maintained on subdivision property unless otherwise approved.
10. 10-foot easements for pressure irrigation lines will need to be shown once the applicant determines the alignment location(s) for the facilities. Show all ditch and drainage easements.
11. This subdivision will need to be annexed into the Star Sewer and Water District to provide water and sewer to the site.

We recommend that **conditions 1 – 11 listed above be addressed prior to the approval of the Preliminary Plat**. Any variance or waivers to the City of Star standards, ordinances, or policies must be specifically approved in writing by the City. Approval of the above-referenced Preliminary Plat does not relieve the Registered Professional Land Surveyor or the Registered Professional Engineer of those responsibilities.

If you have any questions, please do not hesitate to call Keller Associates at (208) 288-1992.

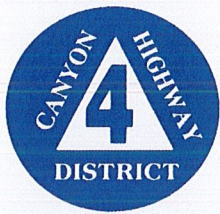
Sincerely,

KELLER ASSOCIATES, INC.



Ryan V. Morgan, P.E.
City Engineer

cc: File



CANYON HIGHWAY DISTRICT No. 4

15435 HIGHWAY 44
CALDWELL, IDAHO 83607

TELEPHONE 208/454-8135
FAX 208/454-2008

July 22, 2021

Star City Council
c/o Planning & Zoning Department
PO Box 130
Star, Idaho 83669
Attention:

Randy P. Wall, Professional
Engineering Services, Applicant
5636 N. Portsmouth
Ave, Boise, Idaho 83714

**RE: Rooster Hollow Subdivision
Canyon County Parcel R3401500000 & R3401501000**

Canyon Highway District No. 4 (CHD4) has received a request to consider and comment on the above referenced development application within the City of Star, Idaho. CHD4 offers the following comments in this matter:

Jurisdiction

By agreement with the City (*Canyon 4/Star Public Agency Coordination Agreement, June 6th, 2007*), CHD4 acts as the supervisory authority for all public roads within the City limits that also lie within Canyon County (except those highways under the jurisdiction of Idaho Transportation Department). This supervisory authority includes highway planning, the establishment of design and use standards, access controls, review and approval of plats and development plans, and other operations and management duties assigned to highway districts under Idaho Code. For continuity with the existing street network in Star, where reasonable CHD4 will apply roadway design standards consistent with those adopted by Ada County Highway District (ACHD Policy Manual Sections 3000 – 3005 and 7200-7211).

General

1. Recommend providing street names for use in discussion.
2. Show block numbers for use in discussion.
3. Delineate which roadways are public and which are private. Road geometry in commercial area in the south of the E/W collector does not meet public road standards, it is assumed for purposes of these comments that these are private drive aisles.
4. Site access from SH 44 appears to be shown as centered on the easterly site boundary. A right-of-way from the adjoining parcel will be required for construction of this N/S collector. Alternatively, a minimum half width section (west half of standard Commercial Collector) plus 4-feet of asphalt and a 2-foot gravel shoulder may be considered (two 11-foot travel lanes and a 4-foot bike lane) if constructed entirely on the subject property.
5. Revise typical road section for the Commercial Collector roadways, N/S off SH 44 and the E/W to the property boundary, to be 3 lanes with bike lanes, 46' back-of-curb to back-of-curb section per ACHD 7208.5 within the 60' of Right of way.
6. Revise the proposed local internal roadways 36' back-of-curb to back-of-curb (rolled or vertical) section per ACHD 7207 within the 50' of Right of way, with a minimum 100' CL radius.
7. Show roadway drainage connection to facility outside of the public right of way, with notation to be the responsibility of the development home owners association or underlying owner for light and heavy maintenance of all drainage facilities located outside of the public right-of-way.

8. Revise language in typical sections, sheet SP 1.5 to remove references to ACHD inspections. Roadway & drainage improvements will be inspected by CHD4.

Access

1. Revise Preliminary Plat to show the 520 feet westbound right-turn lane at the proposed site access to SH 44 (ITD), as required for mitigation in the Traffic Impact study.
2. The draft concept plans for SH 44 corridor under development by ITD show access restrictions along the SH 44 corridor at all locations except for one mile intervals at Blessinger and Can Ada Roads. The proposed site access to SH 44 may be restricted by ITD to right-in-right-out (RIRO) access in the future.
3. Verify the access from the commercial parking area south of Lot 4 on the west side of the site access road is proposed as an emergency access only. The preliminary plat appears to show bollards across the approach to the parking lot. Add a note or callout to the plat.
4. Add a note that no lot shall have direct access to Commercial Collector Roads.
5. Callout for power pole at the SH44 approach to be relocated to accommodate the roadway and turn lane improvements if necessary.

Parking

1. On-street parking for the residential interior island lots (Block 4) is likely to be limited to one or fewer spaces per lot due to the very narrow lot widths. Provisions for off-street parking need to be made available to satisfy city code.
2. Parking within alleys is prohibited by ACHD 7210.3.3 as adopted by CHD4 for use in the City of Star.
3. Verify parking for live/work Lots 1-6 and commercial Lots 1-4 meets city policy for the proposed land use.

CHD4 recommends revising the preliminary plat to address these comments prior to final approval of the preliminary plat by the city. A revised comment letter will be provided to the city after subsequent review.

Please feel free to contact me with any questions on this project.

Respectfully,



Chris Hopper, P.E.
District Engineer
Canyon Highway District No. 4

Written Response to Comments - Rooster Hollow Subdivision – October 1, 2021 Resubmittal

Keller Assoc. 7/13/21	Comments
1.	The bearings on the plat have been updated.
2.	The requirement for easements for all utilities outside of the public right-of-way has been added to the plat (see Note 2).
3.	Streetlights have been added at the required locations; cut sheet for lights and light poles will be submitted and approved by the City of Star with the construction documents.
4.	Street names have been added to the plans; please note the street names have been reviewed by approved by Canyon County.
5.	Landscaping plans conforming to City of Star standards are included with this resubmittal.
6.	Please see the preliminary grading and drainage plan for additional information (Sheet SP2.0); drainage from the public right-of-ways and residential lots shall be routed to and treated in the retention facility located in Block 1 Lot 1; stormwater management in the commercial zone shall be addressed on a site-by-site basis in accordance with City of Star and CHD4 requirements; stormwater runoff from Highway 44 along the project frontage shall be routed to and treated in retention facilities in the landscape buffer adjacent to the State right-of-way; no offsite stormwater disposal is proposed by the project.
7.	A pressure irrigation system, separate from the potable water system, is proposed for the project; construction documents and licensing agreements shall be originated and approved in accordance with the <i>Requirements and Procedures for Engineering Plans for Residential and Commercial Developments as prepared by Middleton Irrigation Assoc., Inc., and Middleton Mill Ditch Co.</i>
8.	Historic irrigation lateral, drain, and ditch flow patterns shall be maintained.
9.	Finish grades at subdivision boundaries shall match existing finish grades; runoff shall be maintained on subdivision property unless otherwise approved.

Written Response to Comments - Rooster Hollow Subdivision – October 1, 2021 Resubmittal

10.	10-foot easements for pressure irrigation lines shall be provided on the Final Plat along the rear property lines of all parcels and wherever pressure irrigation lines are installed per the construction documents determines; according to the ALTA Commitment by TitleOne Corporation dated March 30, 2009, there are no ditch and drainage easements contained in the public records.
11.	According to the Star Sewer & Water District, the parcels were annexed into the District in 2006.

CHD4 7/22/21	Comments
General	
1.	Street names have been added to the plans; please note the street names have been reviewed by approved by Canyon County.
2.	Block numbers have been added to the plans.
3.	Interior roads in the residential and commercial areas will be private; the N/S road off SH 44 will initially be private and will become public when the property contiguous to the east is developed; the E/W collector through the property will be public.
4.	Ultimately, public access from SH 44 will centered on the easterly site boundary, which will require a 30-foot right-of-way from the adjoining parcel to construct this N/S collector; since it is unknown when the property to the east will develop, a private half width section (west half of standard Commercial Collector) plus 4-feet of asphalt and a 2-foot gravel shoulder will be constructed (two 11-foot travel lanes and a 4-foot bike lane) entirely on the subject property.
5.	The typical road section for the Commercial Collector roadways, N/S off SH 44 and the E/W to the property boundary has been revised to 3-lanes with bike lanes, 46' back-of-curb to back-of-curb section per ACHD 7208.5 within the 60' of Right of way.
6.	The typical section for the proposed local internal roadways has been revised to 36' back-of-curb to back-of-curb (rolled or vertical) section per ACHD 7207 within the 50' of Right of way; all internal roads will be private.

Written Response to Comments - Rooster Hollow Subdivision – October 1, 2021 Resubmittal

7.	A stormwater retention facility outside of the public right of way has been provided on Block 1 Lot 1; a note has been added that states it is the responsibility of the development homeowner's association for light and heavy maintenance of all drainage facilities located outside of the public right-of-way (see Notes 5 & 6 on Sheet PP1.0).
8.	The language in typical sections on Sheet SP 1.5 has been revised to remove references to ACHD inspections and state roadway & drainage improvements will be inspected by CHD4.
Access	
1.	The Preliminary Plat has been revised to show the 520 feet westbound right-turn lane at the proposed site access to SH 44 (ITD), as required for mitigation in the Traffic Impact Study.
2.	Acknowledged (see response to General 4. Above).
3.	The access from the commercial road south of Block 3 Lot 14 is proposed as an emergency access only.
4.	A note has been added that no lot shall have direct access to Commercial Collector Roads (see Note 4 on Sheet PP1.0).
5.	A callout has been added to Sheet SP1.0 stating the power pole at the SH 44 approach shall be relocated if required to accommodate the roadway and turn lane improvements.
Parking	
1.	Each unit will have a 2-car garage & driveway in the alley deep enough to park 2-cars, so each unit will have parking for 4-cars.
2.	Acknowledged.
3.	The Live/Work area has been revised to meet or exceed City of Star parking requirements; the balance of the commercial zone has been revised so parking and development standards will be determined in accordance with City standards and CHD4 requirements on a site-by-site basis.



STATE OF IDAHO
DEPARTMENT OF
ENVIRONMENTAL QUALITY

1445 N Orchard Street, Boise, ID 83706
(208) 373-0550

Brad Little, Governor
Jess Byrne, Director

June 25, 2021

By e-mail: Snickel@staridaho.org

City of Star
P.O. Box 130
Star, Idaho 83669

Subject: Rooster Hollow Subdivision, RZ-21-03/DA-21-18/PUD-21-02/PP-21-07

Dear Mr. Nickel:

Thank you for the opportunity to respond to your request for comment. While DEQ does not review projects on a project-specific basis, we attempt to provide the best review of the information provided. DEQ encourages agencies to review and utilize the Idaho Environmental Guide to assist in addressing project-specific conditions that may apply. This guide can be found at:
<https://www.deq.idaho.gov/public-information/assistance-and-resources/outreach-and-education/>.

The following information does not cover every aspect of this project; however, we have the following general comments to use as appropriate:

1. AIR QUALITY

- Please review IDAPA 58.01.01 for all rules on Air Quality, especially those regarding fugitive dust (58.01.01.651), trade waste burning (58.01.01.600-617), and odor control plans (58.01.01.776).
- All property owners, developers, and their contractor(s) must ensure that reasonable controls to prevent fugitive dust from becoming airborne are utilized during all phases of construction activities per IDAPA 58.01.01.651.
- DEQ recommends the city/county require the development and submittal of a dust prevention and control plan for all construction projects prior to final plat approval. Dust prevention and control plans incorporate appropriate best management practices to control fugitive dust that may be generated at sites.
- Citizen complaints received by DEQ regarding fugitive dust from development and construction activities approved by cities or counties will be referred to the city/county to address under their ordinances.

- Per IDAPA 58.01.01.600-617, the open burning of any construction waste is prohibited. The property owner, developer, and their contractor(s) are responsible for ensuring no prohibited open burning occurs during construction.
- For questions, contact David Luft, Air Quality Manager, at (208) 373-0550.

2. WASTEWATER AND RECYCLED WATER

- DEQ recommends verifying that there is adequate sewer to serve this project prior to approval. Please contact the sewer provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.16 and IDAPA 58.01.17 are the sections of Idaho rules regarding wastewater and recycled water. Please review these rules to determine whether this or future projects will require DEQ approval. IDAPA 58.01.03 is the section of Idaho rules regarding subsurface disposal of wastewater. Please review this rule to determine whether this or future projects will require permitting by the district health department.
- All projects for construction or modification of wastewater systems require preconstruction approval. Recycled water projects and subsurface disposal projects require separate permits as well.
- DEQ recommends that projects be served by existing approved wastewater collection systems or a centralized community wastewater system whenever possible. Please contact DEQ to discuss potential for development of a community treatment system along with best management practices for communities to protect ground water.
- DEQ recommends that cities and counties develop and use a comprehensive land use management plan, which includes the impacts of present and future wastewater management in this area. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

3. DRINKING WATER

- DEQ recommends verifying that there is adequate water to serve this project prior to approval. Please contact the water provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.08 is the section of Idaho rules regarding public drinking water systems. Please review these rules to determine whether this or future projects will require DEQ approval.
- All projects for construction or modification of public drinking water systems require preconstruction approval.
- DEQ recommends verifying if the current and/or proposed drinking water system is a regulated public drinking water system (refer to the DEQ website at: <https://www.deq.idaho.gov/water-quality/drinking-water/>). For non-regulated systems, DEQ recommends annual testing for total coliform bacteria, nitrate, and nitrite.

- If any private wells will be included in this project, we recommend that they be tested for total coliform bacteria, nitrate, and nitrite prior to use and retested annually thereafter.
- DEQ recommends using an existing drinking water system whenever possible or construction of a new community drinking water system. Please contact DEQ to discuss this project and to explore options to both best serve the future residents of this development and provide for protection of ground water resources.
- DEQ recommends cities and counties develop and use a comprehensive land use management plan which addresses the present and future needs of this area for adequate, safe, and sustainable drinking water. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

4. SURFACE WATER

- Please contact DEQ to determine whether this project will require a National Pollution Discharge Elimination System (NPDES) Permit. A Construction General Permit from EPA may be required if this project will disturb one or more acres of land, or will disturb less than one acre of land but are part of a common plan of development or sale that will ultimately disturb one or more acres of land.
- If this project is near a source of surface water, DEQ requests that projects incorporate construction best management practices (BMPs) to assist in the protection of Idaho's water resources. Additionally, please contact DEQ to identify BMP alternatives and to determine whether this project is in an area with Total Maximum Daily Load stormwater permit conditions.
- The Idaho Stream Channel Protection Act requires a permit for most stream channel alterations. Please contact the Idaho Department of Water Resources (IDWR), Western Regional Office, at 2735 Airport Way, Boise, or call (208) 334-2190 for more information. Information is also available on the IDWR website at: <https://idwr.idaho.gov/streams/stream-channel-alteration-permits.html>
- The Federal Clean Water Act requires a permit for filling or dredging in waters of the United States. Please contact the US Army Corps of Engineers, Boise Field Office, at 10095 Emerald Street, Boise, or call 208-345-2155 for more information regarding permits.

For questions, contact Lance Holloway, Surface Water Manager, at (208) 373-0550.

5. SOLID WASTE, HAZARDOUS WASTE AND GROUND WATER CONTAMINATION

- **Solid Waste.** No trash or other solid waste shall be buried, burned, or otherwise disposed of at the project site. These disposal methods are regulated by various state regulations including Idaho's Solid Waste Management Regulations and Standards (IDAPA 58.01.06), Rules and Regulations for Hazardous Waste (IDAPA 58.01.05), and Rules and Regulations for the Prevention of Air Pollution (IDAPA 58.01.01). Inert and other approved materials are also defined in the Solid Waste Management Regulations and Standards

- **Hazardous Waste.** The types and number of requirements that must be complied with under the federal Resource Conservation and Recovery Act (RCRA) and the Idaho Rules and Standards for Hazardous Waste (IDAPA 58.01.05) are based on the quantity and type of waste generated. Every business in Idaho is required to track the volume of waste generated, determine whether each type of waste is hazardous, and ensure that all wastes are properly disposed of according to federal, state, and local requirements.
- **Water Quality Standards.** Site activities must comply with the Idaho Water Quality Standards (IDAPA 58.01.02) regarding hazardous and deleterious-materials storage, disposal, or accumulation adjacent to or in the immediate vicinity of state waters (IDAPA 58.01.02.800); and the cleanup and reporting of oil-filled electrical equipment (IDAPA 58.01.02.849); hazardous materials (IDAPA 58.01.02.850); and used-oil and petroleum releases (IDAPA 58.01.02.851 and 852). Petroleum releases must be reported to DEQ in accordance with IDAPA 58.01.02.851.01 and 04. Hazardous material releases to state waters, or to land such that there is likelihood that it will enter state waters, must be reported to DEQ in accordance with IDAPA 58.01.02.850.
- **Ground Water Contamination.** DEQ requests that this project comply with Idaho's Ground Water Quality Rules (IDAPA 58.01.11), which states that "No person shall cause or allow the release, spilling, leaking, emission, discharge, escape, leaching, or disposal of a contaminant into the environment in a manner that causes a ground water quality standard to be exceeded, injures a beneficial use of ground water, or is not in accordance with a permit, consent order or applicable best management practice, best available method or best practical method."

For questions, contact Albert Crawshaw, Waste & Remediation Manager, at (208) 373-0550.

6. ADDITIONAL NOTES

- If an underground storage tank (UST) or an aboveground storage tank (AST) is identified at the site, the site should be evaluated to determine whether the UST is regulated by DEQ. EPA regulates ASTs. UST and AST sites should be assessed to determine whether there is potential soil and ground water contamination. Please call DEQ at (208) 373-0550, or visit the DEQ website <https://www.deq.idaho.gov/waste-management-and-remediation/storage-tanks/leaking-underground-storage-tanks-in-idaho/> for assistance.
- If applicable to this project, DEQ recommends that BMPs be implemented for any of the following conditions: wash water from cleaning vehicles, fertilizers and pesticides, animal facilities, composted waste, and ponds. Please contact DEQ for more information on any of these conditions.

Response to Request for Comment

June 25, 2021

Page 5

We look forward to working with you in a proactive manner to address potential environmental impacts that may be within our regulatory authority. If you have any questions, please contact me, or any of our technical staff at (208) 373-0550.

Sincerely,

A handwritten signature in black ink that reads "Aaron Scheff". The signature is written in a cursive, flowing style.

Aaron Scheff
Regional Administrator
DEQ-Boise Regional Office

EDMS#: 2021AEK121



CITY OF STAR

LAND USE STAFF REPORT

TO: Mayor & Council

FROM: City of Star Planning Department *Shawn T. Mink*

MEETING DATE: **October 12, 2021 – PUBLIC HEARING**

FILE(S) #: AZ-21-10 Annexation and Zoning
RZ-21-06 Rezone
DA-2-15 Development Agreement
PP-21-14 Preliminary Plat for Milestone Ranch Subdivision

OWNER/APPLICANT/REPRESENTATIVE

Applicant

Toll Southwest LLC
3103 W. Sheryl Drive, Suite 101
Meridian, ID 83642

Property Owner:

Hoot Nanney Farms, Inc.
Sandra A. Dixon
8542 W. Floating Feather Road
Eagle, Idaho 83616

Property Owner:

Hoot Nanney Farms, Inc.
Carol H. Dixon
490 Camino Mateo
San Marcos, CA 92069

Representative:

Becky McKay
Engineering Solutions, LLP
1029 N. Rosario Street, Ste 100
Meridian, ID 83642

REQUEST

Request: The Applicant is seeking approval of Annexation and Zoning, Rezone (R-5-DA), a Development Agreement, and Preliminary Plat for a proposed residential subdivision consisting of 284 residential lots and 33 common lots. The property is located at 8542 W. Floating Feather Road in Star, Idaho and consists of approximately 70.52 acres with a proposed density of 4.24 dwelling units per acre.

PROPERTY INFORMATION

Property Location: The subject property is generally located on the northwest corner of W. Floating Feather Road and Highway 16. Ada County Parcel No's. R3721750010, R3721750020 and R3721750030.

Surrounding Land Use/Designations:

	Zoning Designation	Comp Plan Designation	Land Use
Existing	RUT (County) / MU (Multi-Use)	Compact Residential	Agricultural/Residential
Proposed	R-5-DA	Compact Residential	Single Family Residential
North of site	Residential (R-2)	Neighborhood Residential	River Birch Golf Course/Trellis Subdivision
South of site	RUT/ Residential (R-1) (County)	Neighborhood Residential/Mixed Use	Agricultural/Residential/ ITD Storage
East of site	Residential (R-2-DA)	City of Eagle	Highway 16/Agricultural
West of site	RUT (County) / Residential (R-4)	Neighborhood Residential Public Use/Open Space	Agricultural

Existing Site Characteristics: The property is currently in agricultural production with an old home and outbuildings.

Irrigation/Drainage District(s): Farmers Union Ditch Co., LTD
P.O. Box 1474
Eagle, ID 83616

Flood Zone: This property is not currently located in a Flood Hazard Area.
FEMA FIRM Panel Number: 16001C0130J
Effective Date: 6/19/2020

Special On-Site Features:

- ✧ Areas of Critical Environmental Concern – No known areas.
- ✧ Evidence of Erosion – No evidence.
- ✧ Fish Habitat – No.
- ✧ Floodplain – No.
- ✧ Mature Trees – Yes – None.
- ✧ Riparian Vegetation – None.
- ✧ Steep Slopes – None.
- ✧ Stream/Creek – None.
- ✧ Unique Animal Life – No unique animal life has been identified.
- ✧ Unique Plant Life – No unique plant life has been identified.

- ✧ Unstable Soils – No known issues.
- ✧ Historical Assets – No historical assets have been observed.
- ✧ Wildlife Habitat – No known sensitive wildlife habitat observed.

APPLICATION REQUIREMENTS

Pre-Application Meeting Held	February 18, 2021
Neighborhood Meeting Held	May 4, 2021
Application Submitted & Fees Paid	May 7, 2021
Application Accepted	June 1, 2021
Residents within 300' Notified	September 27, 2021
Agencies Notified	June 1, 2021
Legal Notice Published	September 29, 2021
Property Posted	September 30, 2021

HISTORY

This property was previously platted in Ada County as Lots 1, 2 and 3, Block 1 of Hoot Nanney Farms Subdivision. On June 19, 2018, Lots 1 & 2 were annexed into the City of Star as Dixon Sunrise Subdivision with an M-U zoning designation. The approval did not include any development plans but it was for commercial and residential according to the file records.

CODE DEFINITIONS / COMPREHENSIVE PLAN

UNIFIED DEVELOPMENT CODE:

8-1B-1: ANNEXATION AND ZONING; REZONE:

B. Standards:

1. The subject property shall meet the minimum dimensional standards of the proper district.
2. The city may require a development agreement in conjunction with the annexation and zoning, or rezone, pursuant to Idaho Code section 67-6511A, which may include a concept plan. In addition to other processes permitted by city and state code, exceptions or waivers of standards, other than use, may be permitted through execution of a development agreement. A development agreement and concept plan shall be required for any rezone to a mixed-use zone, high density zone or land which includes steep slope (land over 25%) or floodway.
3. The termination of a development agreement shall result in the reversal of the official zoning map amendment approval and applicable development approval for any undeveloped portion of property subject to the development agreement. The undeveloped property subject to the development agreement shall be rezoned to the district classification as designated by the

development agreement. When no designation is provided, the property shall revert to its original zoning or, if the original designation no longer exists, to the closest current equivalent zoning as determined by the current Comprehensive Plan Land Use Map designation.

4. An amendment or termination of a previously recorded development agreement shall be recorded in the office of the county recorder by the clerk.

5. An approved development agreement must be executed within ninety (90) days of the meeting at which the development agreement is approved by the city council. A one-time administrative extension of maximum thirty (30) days may be granted by the zoning administrator. Additional extensions may be approved by majority vote of the city council. Failure to execute the development agreement within the required timeframe will result in the denial of all related applications.

C. Required Findings: The council shall review the application at the public hearing. In order to grant an annexation and zoning or rezone, the council shall make the following findings:

1. The map amendment complies with the applicable provisions of the comprehensive plan;
2. The map amendment complies with the regulations outlined for the proposed district;
3. The map amendment shall not be materially detrimental to the public health, safety, and welfare; and
4. The map amendment shall not result in an adverse impact upon the delivery of services by any political subdivision providing public services within the city.
5. The annexation (as applicable) is in the best interest of city.

8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:

R RESIDENTIAL DISTRICT: To provide regulations and districts for various residential neighborhoods. Gross density in a Residential (R) district shall be determined according to the numeral following the R. The numeral designates the maximum number of dwelling units per acre. In zoning designations of R-1, R-2, R-3, R-4 and R-5, housing shall be single family detached unless approved with a PUD or development agreement. Connection to municipal water and sewer facilities are required for all subdivision and lot split applications submitted after the effective date hereof in all districts exceeding one dwelling unit per acre. Wells and septic systems may be permitted for larger lots in this land use designation that are not adjacent to municipal services, as determined by the Sewer District, and if approved by the applicable Health Department. Private streets may be approved in this district for access to newly subdivided or split property. This district does allow for some non-residential uses as specified in 8-3A-3.

DA DEVELOPMENT AGREEMENT: This designation, following any zoning designation noted on

the official zoning map of the city (i.e., C-2-DA), indicates that the zoning was approved by the city with a development agreement, with specific conditions of zoning.

<u>ZONING DISTRICT USES</u>	A	R-R	R
Accessory structure	A	A	A
Dwelling:			
Multi-family 1	N	N	C
Secondary 1	A	A	A
Single-family attached	N	N	C
Single-family detached	P	P	P
Two-family duplex	N	N	P

8-3A-3: USES WITHIN ZONING DISTRICTS

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N) uses.

8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:

Zoning District	Maximum Height Note Conditions	Minimum Yard Setbacks Note Conditions			
		Front (1)	Rear	Interior Side	Street Side
R-5	35'	15' to living area/side load garage 20' to garage face	15'	5'	20'

Notes:

1. Interior side yard setbacks for lots with 50' or less of lot width shall be allowed 5' interior side yard setbacks for one and two-story structures.
2. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhang onto the sidewalk.

8-4E-2: COMMON OPEN SPACE AND SITE AMENITY REQUIREMENTS - STANDARDS:

A. Open Space and Site Amenity Requirement (see also Chapter 8 "Architectural Review"):

1. The total land area of all common open space shall equal or exceed fifteen percent (15%) of the gross land area of the development. Ten percent (10%) of that area shall be usable open space.
2. Each development is required to have at least one site amenity.
3. One additional site amenity shall be required for each additional twenty (20) acres of development area, plus one additional amenity per 75 residential units.
4. Developments with a density of less than 1 dwelling units per acre may request a reduction in total required open space and amenities to the Council. Developments with a density of less than 2 dwelling units per acre may request a 50% reduction in total required open space to the Council.
5. For multi-family developments, see Section 8-5-20 for additional standards.

B. Qualified Open Space: The following may qualify to meet the common open space requirements:

1. Any open space that is active or passive in its intended use, and accessible or visible by all residents of the development, including, but not limited to:
 - a. Open grassy area of at least fifty feet by one hundred feet (50' x 100') in area;
 - b. Qualified natural areas;
 - c. Ponds or water features where active fishing, paddle boarding or other activities are provided (50% qualifies towards total required open space, must be accessible by all residents to qualify.) ponds must be aerated;
 - d. A plaza.
2. Additions to a public park or other public open space area.
3. The buffer area along collector and arterial streets may be included in required overall common open space for residential subdivisions.
4. Parkway along local residential streets with detached sidewalks that meet all the following standards may count toward the common open space requirement:
 - a. The parkway is a minimum of eight feet (8') in width from street curb to edge of sidewalk and includes street trees as specified otherwise herein.
 - b. Except for alley accessed dwelling units, the area for curb cuts to each residential lot or common driveway shall be excluded from the open space calculation. For purposes of this calculation, the curb cut area shall be a minimum area of twenty-six feet (26') by the width of the parkway.

c. Stormwater detention facilities do not qualify to meet the common area open space requirements, unless all of the following is met:

1. Must be at least fifty feet by one hundred feet (50' x 100') in area;
2. Specifically designed as a dual use facility, as determined by the administrator, to include minimal slopes, grass throughout, and guarantee of water percolation within 24 hours of storm event.
3. Is located in a development that has a second usable open space area that contains a qualified site amenity as herein defined.

5. Visual natural space, including open ditches, wetlands, slopes or other areas that may not be readily accessible to residents, and is provided with open style fencing, may qualify for up to 20% of the required open space total.

C. Qualified Site Amenities: Qualified site amenities shall include, but not be limited to, the following:

1. Clubhouse;
 2. Fitness facilities, indoors or outdoors;
 3. Public art;
 4. Picnic area; or
 5. Recreation amenities:
 - a. Swimming pool.
 - b. Children's play structures.
 - c. Sports courts.
 - d. Additional open space in excess of 5% usable space.
 - e. RV parking for the use of the residents within the development.
 - f. School and/or Fire station sites if accepted by the district.
 - g. Pedestrian or bicycle circulation system amenities meeting the following requirements:
 - (1) The system is not required for sidewalks adjacent to public right of way;
 - (2) The system connects to existing or planned pedestrian or bicycle routes outside the development; and
 - (3) The system is designed and constructed in accord with standards set forth by the city of Star;
- D. Location: The common open space and site amenities shall be located on a common lot or an area with a common maintenance agreement.

COMPREHENSIVE PLAN:

8.2.3 Land Use Map Designations:

Neighborhood Residential

Suitable primarily for single family residential use. Densities in the majority of this land use area are to range from 3 units per acre to 5 units per acre. Densities not exceeding 1 to 2 units per acre are to be encouraged in areas of the floodplain, ridgeline developable areas, hillside developable areas, and where new residential lots are proposed adjacent to existing residential lots of one acre and larger where those existing larger lots are not likely to be subdivided in the future.

Compact Residential

Suitable primarily for residential use allowing a mix of housing types such as single family, two family and multi-family. Densities range from 5.01 units per acre to 10 units per acre.

8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

8.4 Objectives:

- Implement the Land Use Map and associated policies as the official guide for development.
- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.

8.5.3 Policies Related Mostly to the Urban Residential Planning Areas:

- A. The Neighborhood Residential Land Use is to encourage urban style development densities to limit urban sprawl.
- B. Low densities within the Neighborhood Residential Land Use are to be designed within the floodplain, ridgeline developable areas, hillside developable areas and where new residential lots are proposed adjacent to existing residential lots of one

acre and larger where those existing larger lots are not likely to be subdivide in the future.

8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.
- Work with Ada County Highway District (ACHD), Canyon Highway District #4 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of roadway and access needs.
- Support well-planned, pedestrian-friendly developments.
- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.

18.4 Implementation Policies:

- F. Development Agreements allow the city to enter into a contract with a developer upon rezoning. The Development Agreement may provide the city and the developer with certain assurances regarding the proposed development upon rezoning.

PROJECT OVERVIEW

ANNEXATION & REZONE:

The applicant is requesting approval of an annexation and zoning of two properties (Lot 3 of Hoot Nanney Farms Subdivision and Parcel S0404427800) and a rezone of two currently annexed properties (Lots 1 & 2 of Hoot Nanney Farms Subdivision), for a total of 67.0 acres from Rural Urban Transitional (RUT) and Mixed Use (MU) to Neighborhood Residential (R-5). This zoning district would allow for a maximum residential density of 5 dwelling unit per acre. The applicant is requesting a density of 4.24, which is below the minimum density range of 5-10 units per acre within the Compact Residential designation. The property is located in an area that will be serviceable with central sewer and water provided by Star Sewer and Water District. The property will be accessed by a public road and currently has frontage onto W. Floating Feather Road. All roads in the development will be public. The rezone request includes a development agreement that will address future density and development standards.

PRELIMINARY PLAT:

The Preliminary Plat submitted contains 240 single family detached residential lots, 44 single family attached townhome lots and 33 common area lots on 67.0 acres. This equates to 4.24 dwelling units per acre. The lots will have access and frontage from public streets. The development has a variety of lot widths, including 40, 45, and 55 feet with depths of 110 feet.

Single family detached lots will range in size from 4,738 square feet to 11,431 square feet with the average buildable lot being 5,498 square feet. The Townhome lots will range in size from 3,906 square feet to 9,172 square feet. The submitted preliminary plat is showing all local roads with a 50-foot wide right of way with paved streets measuring 36 feet from back of curb to back of curb. Sidewalks are proposed to be detached with a 5-foot, concrete sidewalk and 8-foot side landscape strip. The applicant is proposing 10.75 acres (16.04%) of open space, not including 5.93 acres set aside for future State Highway 16 right-of-way. The applicant is proposing 10.63 acres (15.87%) of usable open space, not including the 8-foot-wide landscape strip along the local streets. These percentages satisfy the Unified Development Code requirement of 15% open space with 10% useable.

The Unified Development Code, Section 8-4E-2 requires a development of this size to have a minimum of seven (7) site amenities. The applicant is proposing a 2.44-acre central park with a club house, pool, a plaza with picnic tables, two (2) pocket parks with sitting areas, four (4) pickleball courts, a cart path with connection to the golf course and multiple pathways and micro pathways that connect the development to the common areas and amenities. These amenities satisfy the code requirement for development amenities.

Discussions with ACHD indicate that this section of W. Floating Feather Road may be downgraded from a minor arterial to a collector and the applicant may be required to disconnect W. Floating Feather Road from Hwy 16 and construct a cul-de-sac turn around. Timing of this is being coordinated between ACHD and ITD. The applicant will be required to dedicate an additional five (5) feet of right of way and install curb, gutter and a detached 5-foot sidewalk along their W. Floating Feather Road frontage.

ADDITIONAL DEVELOPMENT FEATURES:

- Sidewalks
Internal sidewalks are proposed at five-foot (5') widths and will be detached with an eight-foot landscape strip.
- Lighting
Streetlights shall reflect the "Dark Sky" criteria. The same streetlight design shall continue throughout the entire development. The applicant has not submitted a streetlight location plan, **this needs to be submitted and approved prior to approval of the final plat.** The Applicant has provided a streetlight design/cut sheet and the proposed fixture meets city requirements and is the preferred fixture for use throughout the City of Star.
- Street Names
Applicant has not provided documentation from Ada County that the street names are acceptable and have been approved. This will be required at final

plat. Current names on the preliminary plat do not conform to the private road naming standards.

- Landscaping - As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. The submitted landscape plan appears to satisfy these requirements for the open areas and detached sidewalks.
- Setbacks – **The applicant is requesting a rear setback of ten (10) feet versus the required fifteen (15) feet in the R-5 zone.** The remaining setbacks are proposed to satisfy the R-5 zone requirements of the Unified Development Code.
- Block lengths – All blocks meet the 750' block length requirement.
- Mailbox Cluster – **Applicant has not provided documentation from a Postmaster depicting the approved location for the mailbox cluster for the development. This will be required prior to signing the final plat.**
- Phasing – The development is proposing to be built out in six (6) phases.
- Structure Height – Applicant is proposing that all residential structures will be single story.
- Applicant is proposing this development will be an age 55 and older, active adult community.

DEVELOPMENT AGREEMENT

Through the Development Agreement process, the applicant is proposing to work with the City and neighboring property owners to provide further insurances that the development will be built as presented and/or modified by the Council through the review process. Items that should be considered by the applicant and Council include the following:

- Density;
- Setback deviations;
- Allowance for Attached Single Family Dwellings
- ITD Proportionate Share Fees;
- Emergency Access
- Future Development

AGENCY RESPONSES

ITD	June 17, 2021
Star Fire District	Pending
DEQ	June 11, 2021
ACHD	August 31, 2021
COMPASS	July 6, 2021
Keller and Associates	September 7, 2021
Ada County Development Services	June 4, 2021
Central District Health	June 10, 2021

PUBLIC RESPONSES

No public comments have been received.

STAFF RECOMMENDATION

Based upon the information provided to staff in the applications and agency comments received to date, the proposed annexation and zoning request and associated applications including the preliminary plat meets the requirements, standards and intent for development as they relate to the Comprehensive Plan and Unified Development Code. The proposed density of 4.24 dwelling unit per acre is below the range of 5-10 dwelling units per acre allowed in the Compact Residential Comprehensive Plan Future Land Use Map. Staff is supportive of the proposed diversity in lot sizes and housing types, housing sizes and density that the (R-5) zoning designation will provide.

The Council should consider the entire record and testimony presented at their scheduled public hearing prior to rendering its decision on the matter. Should the Council vote to approve the applications, either as presented or with added or revised conditions of approval, Council shall direct staff to draft findings of fact and conclusions of law for the Council to consider at a future date. A development agreement will also be brought back to the Council for review of proposed Conditions of Approval for the rezone.

FINDINGS

The Council may **approve**, **conditionally approve**, **deny** or **table** this request. In order to approve these applications, the Unified Development Code requires that Council must find the following:

ANNEXATION/REZONE FINDINGS:

1. The map amendment complies with the applicable provisions of the Comprehensive Plan.

The purpose of the Star Comprehensive Plan is to promote the health, safety, and general welfare of the people of the City of Star and its Impact Area. Some of the prime objectives of the Comprehensive Plan include:

- ✓ Protection of property rights.*
- ✓ Adequate public facilities and services are provided to the people at reasonable cost.*
- ✓ Ensure the local economy is protected.*
- ✓ Encourage urban and urban-type development and overcrowding of land.*
- ✓ Ensure development is commensurate with the physical characteristics of the land.*

The goal of the Comprehensive Plan for Land Use is to encourage the development of a diverse community that provides a mixture of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible provides an assortment of amenities within walking distance of a residential development. The Compact Residential designation is suitable primarily for residential use allowing a mix of housing types such as single family, two family, and multi-family. Densities range from 5.01 units per acre to 10 units per acre.

The Council must find compliance with the Comprehensive Plan.

2. The map amendment complies with the regulations outlined for the proposed district, specifically, the purposes statement.

The Council must find that the proposal complies with the proposed district and purpose statement. The purpose of the Residential District is to provide regulations and districts for various residential neighborhoods. Gross density in a Residential (R) district shall be determined according to the numeral following the R. The numeral designates the maximum number of dwelling units per acre. In zoning designations of R-1, R-2, R-3, R-4 and R-5, housing shall be single family detached unless approved with a PUD or development agreement. Connection to municipal water and sewer facilities are required for all subdivision and lot split applications submitted after the effective date hereof in all districts exceeding one dwelling unit per acre.

3. The map amendment shall not be materially detrimental to the public health, safety, and welfare; and

The Council must find that there is no indication from the material submitted by any political agency stating that this annexation and zoning of this property will be materially detrimental to the public health, safety or welfare.

4. The map amendment shall not result in an adverse impact upon the delivery of services by any political subdivision providing public services within the city including, but not limited to, school districts.

The Council must find that it has not been presented with any information from agencies having jurisdiction that public services will be adversely impacted other than traffic,

which will continue to be impacted as the City grows.

5. The annexation is in the best interest of the city.
The Council must find that this annexation is reasonably necessary for the orderly development of the City.

PRELIMINARY PLAT FINDINGS:

1. The plat is in compliance with the Comprehensive Plan.
The City must find that this Plat follows designations, spirit and intent of the Comprehensive Plan regarding residential development and meets several of the objectives of the Comprehensive Plan such as:
 1. *Designing development projects that minimize impacts on existing adjacent properties, and*
 2. *Managing urban sprawl to protect outlying rural areas.*
2. Public Services are available or can be made available and are adequate to accommodate the proposed development.
The City must find that Agencies having jurisdiction on this parcel were notified of this action, and that it has not received notice that public services are not available or cannot be made available for this development.
3. There is public financial capability of supporting services for the proposed development;
The City must find that they have not been notified of any deficiencies in public financial capabilities to support this development.
4. The development will not be detrimental to the public health, safety or general welfare;
The City must find that it has not been presented with any facts stating this Preliminary Plat will be materially detrimental to the public health, safety and welfare. Residential uses are a permitted use.
5. The development preserves significant natural, scenic or historic features;
The City must find that there are no known natural, scenic, or historic features that have been identified within this Preliminary Plat.

Upon granting approval or denial of the application, the Council shall specify:

1. The Ordinance and standards used in evaluating the application;
2. The reasons for recommending approval or denial; and
3. The actions, if any, that the applicant could take to obtain approval.

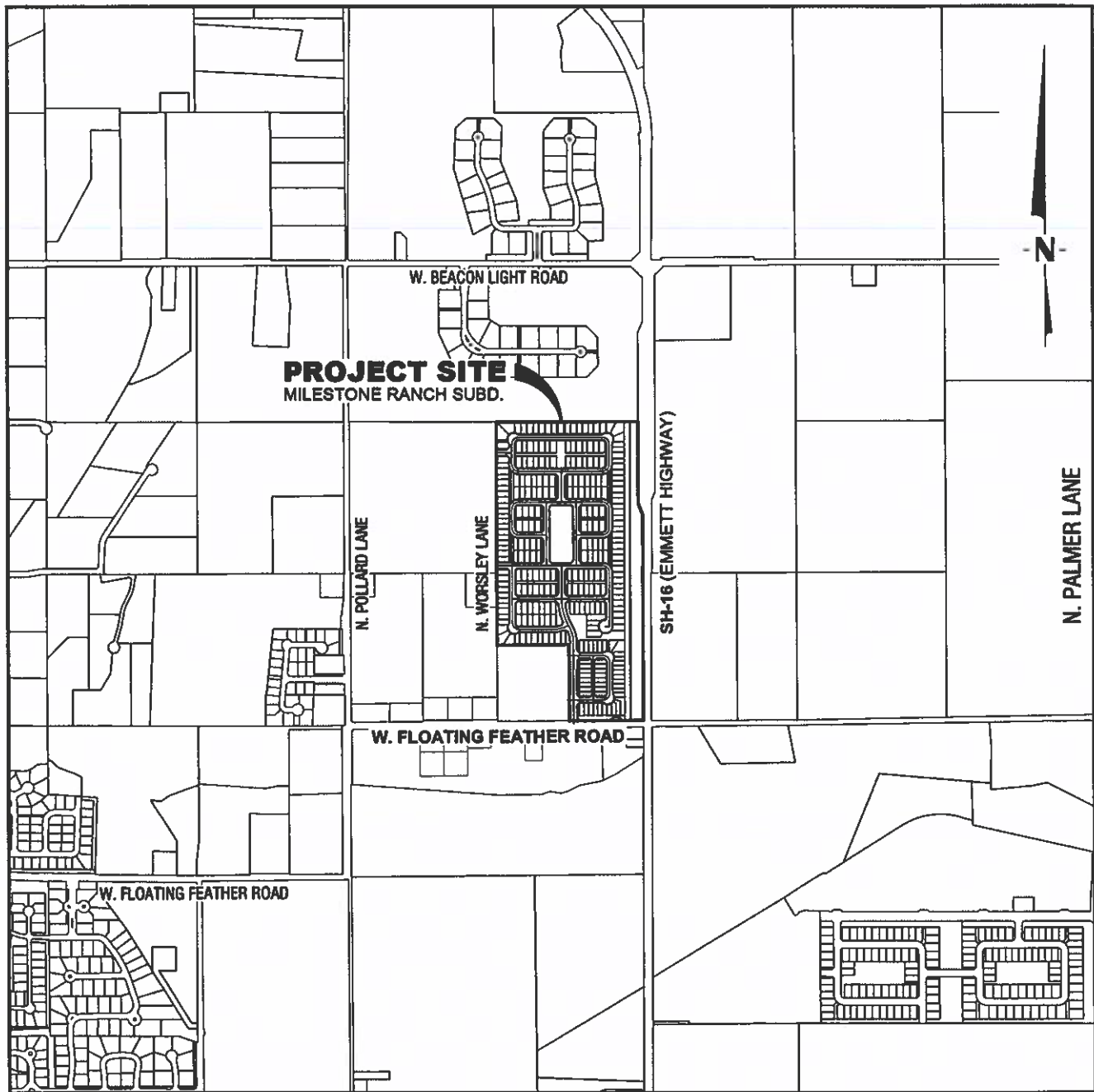
CONDITIONS OF APPROVAL

1. The approved Preliminary Plat for the Milestone Ranch Subdivision shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
2. **The applicant shall enter into a Development Agreement with the City, agreeing to proportionate share assessment by ITD regarding impacts to the State Highway System. ITD has calculated the fees to be \$39,222. These fees will be collected by the City of Star, by phase, prior to final plat signature.** The development agreement shall be signed and recorded as part of the ordinance for annexation and zoning and shall contain the details of the fees to be collected.
3. Streetlights shall comply with the Star City Code and shall be of the same design throughout the entire subdivision. Streetlights shall be continuous throughout the subdivision and shall be maintained by the Homeowners Association. **Streetlights shall be installed and energized prior to issuing of building permits.** Design shall follow Code with requirements for light trespass and "Dark Skies" lighting. **Applicant/Owner shall work with staff and submit a streetlight plan designating locations that meets city standards prior to Final Plat approval.** Streetlights shall comply with the Star City Code regarding light trespass and "Dark Sky" initiative.
4. The property with the approved Preliminary Plat shall be satisfactorily weed abated, preventing a public nuisance, per Star City Code.
5. The entrance to W. Floating Feather Road shall be cleaned nightly to include dirt, dust, rocks, mud, and other debris. All trash shall be secured on site and trash receptacles emptied on a regular basis to avoid blowing debris.
6. During the entire construction process, dust from the site must be minimized as much as possible. Water trucks should be used as appropriate. Excess dust could result in fines and or work stoppage.
7. All signed Irrigation District Agreements with the Irrigation Districts shall be provided to the City of Star with each subsequent Final Plat application.
8. Street trees shall be installed per Chapter 8, Section 8-8C-2-M (2) Street Trees.
9. Common area trees shall be provided as stated in Section 8-8C-2, J5, including one (1) tree per four thousand (4,000) square feet.
10. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
11. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
12. A copy of the CC&R's shall be submitted to the City of Star at Final Plat.
13. **A letter from the US Postal Service shall be given to the City at Final Plat stating the subdivision is in compliance with the Postal Service.**
14. A form signed by the Star Sewer & Water District shall be submitted to the City prior to the signature of the Final Plat stating that all conditions of the District have been met, including annexation into the District.

- 15. Prior to signing the final plat, Applicant shall provide approval from Ada County for street names.**
16. A plat note shall state that development standards for residential development shall comply with the effective building and zoning requirements at time of building permit issuance, unless amended in the Development Agreement or CUP conditions.
17. Development standards for single family residential units shall comply with effective building and zoning requirements at time of building permit issuance, or as approved through the Development Agreement or as stated herein.
18. All common areas shall be owned and maintained by the Homeowners Association.
19. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through home sales that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of construction.**
20. A sign application is required for any subdivision signs.
- 21. Owner/Developer will agree to install a 2" (High Density Polyethylene) HDPE SDR-11 roll pipe in the shared utility trench to be used for future fiber optic and/or copper telecommunication cables.**
- 22. Any additional Condition of Approval as required by Staff and City Council.**

COUNCIL DECISION

The Star City Council _____ File Number AZ-21-10/RZ-21-06/DA-21-15/PP-21-14 for Milestone Ranch Subdivision on _____, 2021.



VICINITY MAP
NOT TO SCALE

MILESTONE RANCH SUBDIVISION
LOCATED WITHIN THE NW 1/4 OF THE SE 1/4, AND THE SW 1/4 OF THE NE 1/4 OF SECTION 4,
T.4N., R.1W., B.M., ADA COUNTY, IDAHO

VICINITY MAP

**ENGINEERING
SOLUTIONS_{LLP}**

1020 N. ROSARIO STREET, SUITE 100
MERIDIAN, IDAHO 83642

PHONE: (208) 638-0880 FAX: (208) 638-0041

DATE	05/03/2021
PROJECT NO.	201102
DWG. FILE	201102-P-PRE.dwg
SCALE	AS SHOWN
DRAWN BY	XXX
SHEET NO.	XX

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**MILESTONE RANCH SUBDIVISION
ANNEXATION AND ZONING, REZONING AND
PRELIMINARY PLAT APPLICATIONS**

WRITTEN NARRATIVE

Introduction:

Toll Southwest LLC hereby applies for annexation and zoning of 10.65 acres to R-5-DA, rezoning of 59.87 acres from MU to R-5-DA, and a preliminary plat on 67.0 acres consisting of 240 single-family residential lots, 44 duplex lots (patio homes) and 33 common lots for Milestone Ranch Subdivision. The development will be a premier active adult community for those 55 and older. The subject site is located west of State Highway 16 and north of Floating Feather Road. The subject property abuts the River Birch Golf Course on the north boundary which will provides golf activities. State Highway 16 lies adjacent to the east boundary and property owned by the West Ada School District is adjacent to the west property line. The topography of the property varies in elevation from 2559 along the north boundary to 2525 along W. Floating Feather Road. The elevation difference on the property varies by 34 feet.

Existing Use on the Property:

The property is occupied by an existing home, accessory buildings, and a shop. The parcel is currently in agricultural production. There are two large pivot sprinklers on the property used for irrigation. The existing buildings will be removed prior to construction of the infrastructure. The property was previously platted as Lots 1, 2 and 3, Block 1 of Hoot Nanney Farms Subdivision.

Comprehensive Plan and Surrounding Land Uses:

The City of Star's Land Use Map designates the area as Compact Residential. The designation allows for a mixture of housing types such as single-family, two-family, and multi-family with a density range of 5 to 10 dwelling units per acre. The applicant is requesting annexation and zoning/rezoning to R-5 with a development agreement. The R-5 zoning request is supported by the Compact Residential designation. The proposed gross density of the project is 4.24 dwelling units per acre which is lower than the recommended density. The location of the property along a state highway is appropriate for medium density residential development. The surrounding land uses within the immediate area are as follows: North – River Birch Golf Course and estate residential (Trellis Subdivision); South – agricultural and estate residential; East – State Highway 16 and agricultural land; and West – West Ada School District property intended for a future school, estate residential (Worsley's Folly Subdivision) and agricultural property. Residential development has been expanding into this area east along the W. Floating Feather Road corridor. The availability of central services in this area is allowing for further development east of Pollard Lane along Floating Feather Road.

Annexation and Rezone:

The applicant is requesting annexation and rezone of 10.65 acres from RUT (Rural Urban Transition) to R-5-DA (Medium-Density Residential District/Development Agreement). A portion of the property was previously annexed and zoned within the City of Star as MU (Mixed Use). The applicant requests the 59.87 acres currently zoned MU (Mixed Use District) be rezoned R-5-DA (Medium Density Residential District/Development Agreement). The R-5 zoning designation is supported within the Compact Residential designation of the Comprehensive Plan Land Use Map.

Residential Lots and Density:

Milestone Ranch Subdivision provides single-family lots ranging in size from 4,738 square feet to 11,431 square feet and duplex lots (patio homes) ranging from 3,906 square feet to 9,172 square feet. The average residential lot size within the development is 5,498 square feet. The proposed gross density of the project is 4.24 dwelling units per acre (du/acre), with a net density of 6.09 du/acre. The development has a variety of lot widths (40, 45 and 55 feet) and depths of 110 feet to accommodate different house plans and resident lifestyles. All the proposed homes within the development will single-story. A phasing plan for the project has been provided with the application reflecting six (6) phases. The applicant respectfully requests phasing flexibility to adjust the number of lots, combination of lots and number of phases to reflect changing market conditions.

Sewer and Water Facilities:

The development is currently serviceable with central sewer and water by Star Sewer and Water District. A 12-inch water main and 12-inch gravity sewer main are located within the intersection of Floating Feather Road at the Pollard Lane. The water and sewer main will be extended east within Floating Feather Road to the subject property. A 10-inch water main line is currently located in Pollard Lane north of the Floating Feather Road intersection. The applicant will be required to construct the water main east through property owned by West Ada School District. The school district has agreed to provide an easement to Star Sewer and Water District for extension of the water main to the subject property. The Milestone Ranch development is located within two water pressure zones referred to by the Star Sewer and Water District as the upper and lower pressure zones. Due to the property split into the two zones is necessary to extend water mains from both the upper and lower zones. The applicant has coordinated the utility location and sizing with the District and will be required to install a 12-inch water main line to the north boundary for future extension. The District indicates sewer and water capacities exist for service of the development and the applicant will request annexation into the Star Sewer and Water District.

Transportation:

Ada County Highway District and Idaho Transportation Department have plans for this section of Floating Feather Road to be realigned in the future so that Floating Feather is continuous between Palmer Lane (to the east of State Highway 16) and Pollard Lane (to the west of State Highway 16). It is anticipated that the realignment of w. Floating Feather Road within the Rosti

Farms Subdivision will be completed in the summer of 2021. The preliminary plat for Milestone Ranch reflects the termination of Floating Feather Road with a cul-de-sac. However, Floating Feather Road may be converted into a right-in/right-out intersection at State Highway 16. The future of the existing intersection will be determined by ACHD and ITD. If the existing Floating Feather Road along the subject property is disconnected from State Highway 16, this section of Floating Feather Road may be downgraded from a minor arterial to a collector. The applicant has provided an additional 5-feet of right-of-way for a total of 30 feet from centerline. The applicant will be required to widen W. Floating Feather Road to 17 feet from centerline and install a 5-foot-wide detached sidewalk within the landscape buffer.

The applicant is preserving area for the future expansion of State Highway 16. Idaho Transportation Department (ITD) indicated the future right-of-way will be 150 feet from centerline of highway. The existing right-of-way adjacent to the Milestone Ranch property varies from 40 feet to 80 feet from centerline. The applicant is preserving between 70 and 110 additional feet for the future expansion of State Highway 16. This area will be within a common lot along the east boundary available when ITD purchases additional right-of-way.

The proposed development will have 5-foot-wide detached sidewalks with 8-foot-wide landscape buffers along all local streets. All sidewalks along arterials and collector roadways will also be detached. The proposed rights-of-way for the local streets are 50 feet in width with a 36-foot-wide street section. The collector road (N. Milestone Avenue) will have a 60-foot-wide right-of-way with a 10-foot-wide center island and two 21-foot-wide travel lanes. The collector parkway will be constructed for approximately 1,300 feet into the development terminating at the central amenity center. The entrance into the proposed development is located west 660 feet from the centerline of State Highway 16 which meet ACHD Policy Manual requirements.

The applicant is proposing five (5) public alleys within the development. The alleys will be 20 feet in width and meet all requirements of the ACHD Policy Manual. The duplex (attached patio homes) within Block 2 and 3 will be alley-loaded homes. The other four (4) alleys will have frontload homes. The alleys with the front load homes will has a landscape buffer ranging from 10 to 20 feet on the outside of the alley.

Four stub streets have been provided to the west. Two of the stubs connect to the collector road, N. Milestone Avenue and two local street stubs further north into the project.

Traffic Impact Study:

A traffic impact study was prepared for the project by Kittelson and Associates in April 2021. The traffic impact study was submitted to Ada County Highway District and ITD for their review and approval. At buildout in 2026, the Milestone Ranch development will generate approximately 1,412, daily net new trips per day – 89 trips during the AM peak hour, and 107 trips during the PM peak hour. The estimated distribution of trips on the roadway network is estimated with 5 percent north of the site, 70 percent south of the site, 5 percent westbound and 20 percent eastbound. This distribution assumes the W. Floating Feather Road approach to State Highway 16 remains as a right-in/right-out.

The TIS reviewed two scenarios for future traffic conditions. Scenario 1 assumed the existing Floating Feather Road remains connected to SH-16 at the time of the development and Scenario 2 which assumes the west leg of the existing Floating Feather Road will be disconnected from SH-16.

The study area included Floating Feather Road and Pollard Lane, Floating Feather Road and Worsley Lane, Floating Feather Road and State Highway 16 and the future intersection of the realigned Floating Feather Road and State Highway 16, along with the project entrance at Floating Feather Road. Analyzing the total traffic conditions in 2026 the study found the site generated trips did not impact any additional intersections not previously identified in the background traffic conditions. All findings and mitigations required for intersections to meet operational standards outlined under background conditions remain consistent in the year 2026 total traffic conditions. All roadway segments operate within the ACHD volume threshold under total buildout conditions. The site evaluation determined no turn lanes are warranted at Floating Feather Road and Milestone Avenue. The intersection site distance evaluation identified that the ACHD required distances can be achieved at all the site intersections. The proposed approach to W. Floating Feather Road meets ACHD requirements for spacing.

ITD will be evaluating the proposed development which adds trips on to the state highway system and may require monetary mitigation based on the proportionate share of the impact on the intersections. The applicant anticipates ITD will provide a monetary amount to be held in trust at the City of Star for the specific improvements.

Irrigation, Drainage and Pressure Irrigation Facilities:

The subject property lies within the service area of Farmers Union Ditch Company but has no water rights. A report prepared by SPF Water Engineers, dated November 2020 is included with the application. The property has groundwater rights established with Idaho Department of Water Resources in 1953 under GWR 63-2957. The water right allows for 1.3 cubic feet per second or 583 gallons per minute. The existing irrigation well has a 12-inch diameter is 72 feet deep and capable of pumping 1.6 cubic feet per second or 718 gallons per minute. The existing well is located near the middle of the property on Lot 2, Block 10. The well will provide pressurized irrigation water for the entire development. The homeowners will be assessed by the HOA for operation and maintenance of the well and pressure irrigation delivery system.

An existing 12-inch gravity irrigation pipe traverses the northwest corner of the subject property. The pipe extends from the north boundary into the property owned by West Ada School District. The applicant will coordinate with the adjoining property owners to relocate the pipe to the exterior of the development.

Storm drainage will be retained on site, and any discharge into a wastewater facility will not exceed pre-development flows. Local and collector streets will utilize underground retention facilities within the common areas. All storm drainage facilities will be designed in accordance with Ada County Highway District and Department of Environmental Quality standards. A geotechnical report was prepared for the site. Geotechnical Engineering firm (GeoTek)

excavated 16 test holes and installed piezometers to monitor the groundwater levels. GeoTek has been obtaining monthly groundwater readings at the property since November 2020. No high groundwater was encountered at the site.

Amenities:

The total open space within the development equates to 10.75 acres or 16.04 percent. This calculation does not include the 5.93 acres preserved for the future State Highway 16 right-of-way. The useable open space within the project is 10.63 acres, or 15.87 percent of the site. This calculation does not include the 8-foot-wide landscape parkways along all local streets. The proposed amenities within the project include a 2.44-acre central common area with a clubhouse, swimming pool facility, plaza with picnic gazebos, and four pickleball courts. Two pocket parks consisting of 2.15 acres will include pathways, sitting areas and open grass for pets. The project also includes 20 and 30-foot-wide mews behind the lots providing additional pedestrian connections and an open atmosphere. Multiple micro-paths within the development provide interconnection to the central amenity, pocket parks and mew. A 50-foot-wide common lot is provided along with two 13-foot-wide common lots providing access to the golf course from within the development. This connection would allow the golfers easy cart access to the golf course. The 50-foot-wide lot could also be used as a stub street in the event the golf course were to redevelop in the future.

Preliminary Plat:

Overall Preliminary Plat Data:

- Total Site Area: 67.00 acres
- Single-Family Residential Area: 31.20 acres (46.57%)
- Duplex (Attached Patio Homes): 4.65 acres (6.94%)
- Public Right-of-Way Area: 14.47 acres (21.60%)
- Future State Highway 16 Right-of-Way: 5.93 acres (8.85%)
- Minimum Single-Family Lot Size: 4,738 square feet
- Minimum Duplex Lot Size: 3,906 square feet
- Average Residential Lot Size: 5,498 square feet
- Single-Family Lots: 240
- Duplex (Attached Patio Homes): 44
- Common Lots: 33
- Total Lots Buildable Lots: 284
- Total Lots: 317
- Gross Residential Density: 4.24 du/ac
- Net Residential Density: 6.09 du/ac

The property is within an area designated for compact residential development on the City's future land use map. The proposed medium density of the project is consistent with the existing and proposed residential developments in the area. The Milestone Ranch development complies with the Comprehensive Plan by promoting various types of lot sizes to meet the needs and preferences of citizens regardless of age, race, income or family size. The Comprehensive Plan encourages an emphasis on high-quality residential development and variety of housing styles and sizes. Adding an active adult community within the City of Star will provide another type of neighborhood that provides amenities and activities not found in traditional developments.

Development Agreement:

The proposed development provides two distinct residential types of lots – single-story detached single-family dwelling and single-story attached duplex patio homes. The project will be a premier active adult community targeting those 55 and older.

The requested dimensional standards for the Milestone Ranch development are as follows:

- Minimum Residential Lot Frontage: 20 feet
- Front Setback (Measured from the back of walk or property line): 20 feet
- Rear Setback: 10 feet
- Interior Side Setback (Single-story): 5 feet
- Local Street Side Setback: 20 feet
- Street Landscape Buffers:
 - Floating Feather Road: 35 feet
 - State Highway 16: 50 feet
 - Residential Collectors: 20 feet and 10 feet along the west side of N. Milestone Avenue that abuts the out parcel.
- Maximum Building Height: 35 feet
- Minimum Detached Single-Family Lot Size: 4,738 square feet
- Minimum Attached Duplex Patio Homes: 3,906 square feet
- Average Lot Size: 5,498 square feet

The development includes significant open space, high quality amenities and pathways which are not normally found within a standard subdivision. Toll Southwest LLC wants to create a community within the City of Star that will set a new standard for a senior development.

Submitted by:

ENGINEERING SOLUTIONS, LLP

A handwritten signature in blue ink, reading "Becky McKay", is written over a horizontal line.

Becky McKay, Partner and Chief Planner

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS
	Acer platanoides 'Crimson King' / Crimson King Norway Maple	B&B	2"		14	35' H X 25' W, Class II
	Acer truncatum 'Crimson Sunset' / Crimson Sunset Maple	B&B	2"		40	35' h x 25' w, Class II
	Celtis occidentalis / Common Hackberry	B&B	2"		49	40' h x 30' w, CLASS II
	Cladrastis kentukea 'Perkins Pink' / Perkins Pink Yellowwood	B&B	2"		75	35' h x 30' w, Class II
	Fraxinus pennsylvanica 'Patmore' / 'Patmore' Green Ash	B&B	2"		69	40' h x 20' w Class II
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B&B	2"		59	50' h x 30' w Class II
	Liriodendron tulipifera 'Emerald City' TM / Emerald City Tulip Tree	B&B	2"		64	50' h x 25' w CLASS II
	Malus x 'Spring Snow' / Spring Snow Crabapple	B&B	2"		60	25' h x 20' w, CLASS I
	Picea pungens 'Fat Albert' / Fat Albert Colorado Spruce	B&B		6'-8' H	25	30' h x 15' w
	Prunus virginiana 'Canada Red' / Canada Red Cherry	B&B	2"		14	25' h x 20' w Class II
	Pyrus calleryana 'Cleveland Select' / Cleveland Select Pear	B&B	2"		14	40' h x 17' w, Class I
	Quercus frainetto 'Schmidt' / Forest Green Oak	B&B	2"		43	50' h x 30' w, Class II
	Tilia americana 'Redmond' / Redmond American Linden	B&B	2"		79	50' h x 30' w Class II
	Tilia cordata 'Corzam' / Corinthian Littleleaf Linden	B&B	2"		16	45' h x 15' w CLASS II
SHRUBS	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY	REMARKS
	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	2 gal			537	5' h x 3' w
	Cotinus coggygria 'Grace' / Grace Smoke Bush	5 gal			28	15' h x 12' w
	Forsythia x 'Meadowlark' / Meadowlark Forsythia	5 gal			52	8' h x 10' w
	Forsythia x intermedia 'Mindor' TM / Show Off Forsythia	5 gal			50	6' h x 5' w
	Gaillardia x grandiflora 'Arizona Sun' / Arizona Sun Blanketflower	1 gal			74	18" h x 24" w
	Helictotrichon sempervirens / Blue Oat Grass	1 gal			228	3' h x 3' w
	Ilex crenata 'Sky Pencil' / Sky Pencil Japanese Holly	5 gal			250	6' h x 30" w
	Juniperus chinensis 'Hetzi Glauca' / Hetzi Blue Juniper	5 gal			43	8' h x 10' w
	Juniperus horizontalis 'Wiltonii' / Blue Rug Juniper	5 gal			112	6" h x 7' w
	Lavandula angustifolia 'Hidcote Blue' / Hidcote Blue Lavender	2 gal			59	30" h x 30" w, Drought Tolerant
	Leucanthemum x superbum / Shasta Daisy	1 gal			83	30" h x 24" w
	Miscanthus sinensis 'Variegatus' / Variegated Japanese Silver Grass	5 gal			127	6' h x 4' w
	Pennisetum alopecuroides 'Karley Rose' / Karley Rose Fountain Grass	2 gal			242	30" h x 30" w, Drought Tolerant
	Pennisetum alopecuroides 'Moudry' / Black Flowering Fountain Grass	1 gal			97	3' h x 3' w
	Phlox subulata 'Emerald Pink' / Emerald Pink Creeping Phlox	1 gal			24	6" h x 36" w
	Physocarpus opulifolius 'SMNPOBLR' TM / Ginger Wine Ninebark	5 gal			213	5' h x 5' w
	Pinus mugo 'Mops' / Mops Mugo Pine	5 gal			49	5' h x 5' w
	Rhamnus frangula 'Fine Line' / Fine Line Buckthorn	5 gal			377	7' h x 3' w, Drought Tolerant
	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal			224	18" h x 6' w, Drought Tolerant
	Salvia nemorosa 'East Friesland' / East Friesland Perennial Sage	2 gal			85	18" X 2' w, Drought Tolerant
	Spiraea japonica 'Neon Flash' / Neon Flash Spirea	2 gal			34	3' h x 3' w

LANDSCAPE MATERIALS LEGEND:

	SOD LAWN		PLANTER BED AREAS - LANDSCAPE MULCH PER LANDSCAPE NOTES
	NATIVE SEED MIX WITH SAGEBRUSH & WILDFLOWERS - SEED IN DISTURBED AREAS		4' OPEN FENCE
			6' WOOD PRIVACY FENCE



STACK ROCK GROUP
LANDSCAPE
ARCHITECTURE
& MASTER PLANNING

(208) 345-0500
404 S 8th St. #154
Boise, ID 83702
StackRockGroup.com

WILLET C HOWARD, PLA
OFFICE: (208) 345.0500 EMAIL:
WILLET@STACKROCKGROUP.COM
WWW.STACKROCKGROUP.COM

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NOT FOR CONSTRUCTION

MILESTONE RANCH

STAR, ID

REVISIONS

MRK	DATE	Description
▲	**	**

JOB NO.	20-1966
DATE	06.25.2021
DRAWN BY	DW
CHECKED BY	WH

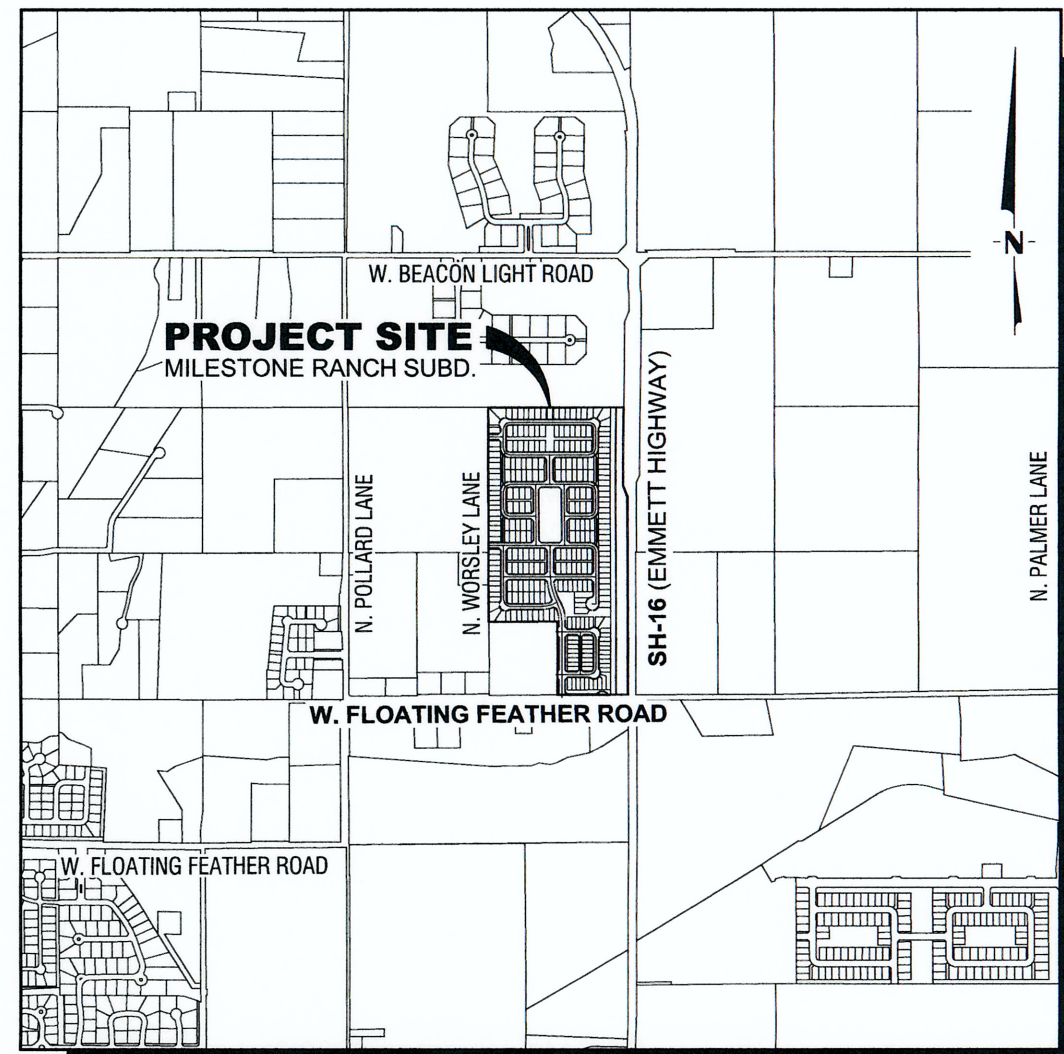
DRAWING TITLE

OVERALL
COLOR PLAN

SHEET NUMBER

L201

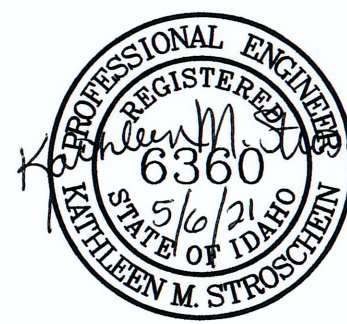
A RESUBDIVISION OF LOTS 1, 2, AND 3, BLOCK 1, HOOT NANNEY FARMS SUBDIVISION
LOCATED WITHIN THE NW 1/4 OF THE SE 1/4, AND THE SW 1/4 OF THE NE 1/4 OF SECTION 4,
T.4N., R.1W., B.M., ADA COUNTY, IDAHO



VICINITY MAP
NOT TO SCALE

1. SANITARY SEWER AND DOMESTIC WATER SERVICE TO BE PROVIDED BY STAR SEWER AND WATER DISTRICT.
2. SUBJECT PROPERTY DOES NOT FALL WITHIN FEMA FLOOD HAZARD ZONES A AND X. SEE FIRM PANEL 160001C0130J, DATED JUNE 19, 2020.
3. ALL LOTS ARE HEREBY DESIGNATED AS HAVING A PERMANENT EASEMENT FOR PUBLIC UTILITIES, IRRIGATION, AND LOT DRAINAGE OVER THE TEN (10) FEET ADJACENT TO ANY PUBLIC STREET. THIS EASEMENT SHALL NOT PRECLUDE THE CONSTRUCTION OF HARD-SURFACED DRIVEWAYS AND WALKWAYS TO EACH LOT.
4. UNLESS OTHERWISE SHOWN AND DIMENSIONED, ALL LOTS ARE HEREBY DESIGNATED AS HAVING A PERMANENT EASEMENT FOR PUBLIC UTILITIES, IRRIGATION AND LOT DRAINAGE OVER THE FIVE (5) FEET ADJACENT TO ANY INTERIOR SIDE LOT LINE AND OVER THE TWELVE (12) FEET ADJACENT TO ANY REAR LOT LINE OR SUBDIVISION BOUNDARY.
5. THIS SUBDIVISION WILL BE SUBJECT TO THE TERMS OF A DEVELOPMENT AGREEMENT WITH THE CITY OF STAR.
6. IRRIGATION WATER SHALL BE PROVIDED FROM THE GROUNDWATER RIGHTS WITH IDWR (63-2957) IN COMPLIANCE WITH IDAHO CODE 31-3805(B). LOTS WITHIN THE SUBDIVISION SHALL BE ENTITLED TO IRRIGATION WATER RIGHTS, AND THE INDIVIDUAL LOTS SHALL BE SUBJECT TO IRRIGATION WATER ASSESSMENTS.
7. BUILDING SETBACKS AND DIMENSIONAL STANDARDS IN THIS SUBDIVISION SHALL BE IN COMPLIANCE WITH THE APPLICABLE ZONING REGULATIONS OF THE CITY OF STAR OR AS APPROVED UNDER THE DEVELOPMENT AGREEMENT.
8. DIRECT LOT ACCESS TO STATE HIGHWAY 16 AND W. FLOATING FEATHER ROAD IS PROHIBITED. (EXCEPT EMERGENCY VEHICLE ACCESS)
9. LOTS 1, 2, 25, 39, 88, 89, 90, 101, BLOCK 1; LOT 1, BLOCK 2; LOTS 1 AND 10, BLOCK 3; LOT 1, BLOCK 4; LOT 1, BLOCK 5; LOTS 1 AND 24, BLOCK 6; LOTS 1 AND 21, BLOCK 7; LOTS 1 AND 9, BLOCK 8; LOT 1, BLOCK 9; LOT 1, BLOCK 10; LOTS 1 AND 7, BLOCK 11; LOT 6, BLOCK 12; LOTS 1 AND 7, BLOCK 13; LOT 1, BLOCK 14; LOT 1, BLOCK 15; LOTS 1 AND 9, BLOCK 16; LOTS 1 AND 9, BLOCK 17; AND LOT 1, BLOCK 18 SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

TOTAL ACRES		67.00 AC
SINGLE-FAMILY RESIDENTIAL	(46.57%)	31.20 AC
DUPLEX RESIDENTIAL	(6.94%)	4.65 AC
PUBLIC RIGHT-OF-WAY	(21.60%)	14.47 AC
FUTURE SH-16 RIGHT-OF-WAY	(8.85%)	5.93 AC
OPEN SPACE	(16.04%)	10.75 AC



TOTAL LOTS	317
SINGLE-FAMILY RESIDENTIAL LOTS	240
DUPLEX RESIDENTIAL LOTS	44
OPEN SPACE LOTS	33
TOTAL RESIDENTIAL LOTS	284
USEABLE OPEN SPACE	(15.87%) 10.63 AC
CENTRAL AMENITY LOT	2.44 AC
ARTERIAL BUFFERS	3.00 AC
COLLECTOR BUFFERS	0.70 AC
END BLOCK BUFFERS/PATHS	1.24 AC
POCKET PARKS	2.15 AC
MEWS	1.10 AC
LOT AREA DATA	
MINIMUM LOT SIZE (SINGLE-FAMILY)	4,738 SF
MINIMUM LOT SIZE (DUPLEX)	3,906 SF
AVERAGE LOT SIZE	5,498 SF
RESIDENTIAL DENSITY (D_u/AC)	
GROSS RESIDENTIAL DENSITY	4.24
NET RESIDENTIAL DENSITY (EXCLUDES RIGHT-OF-WAY)	6.09

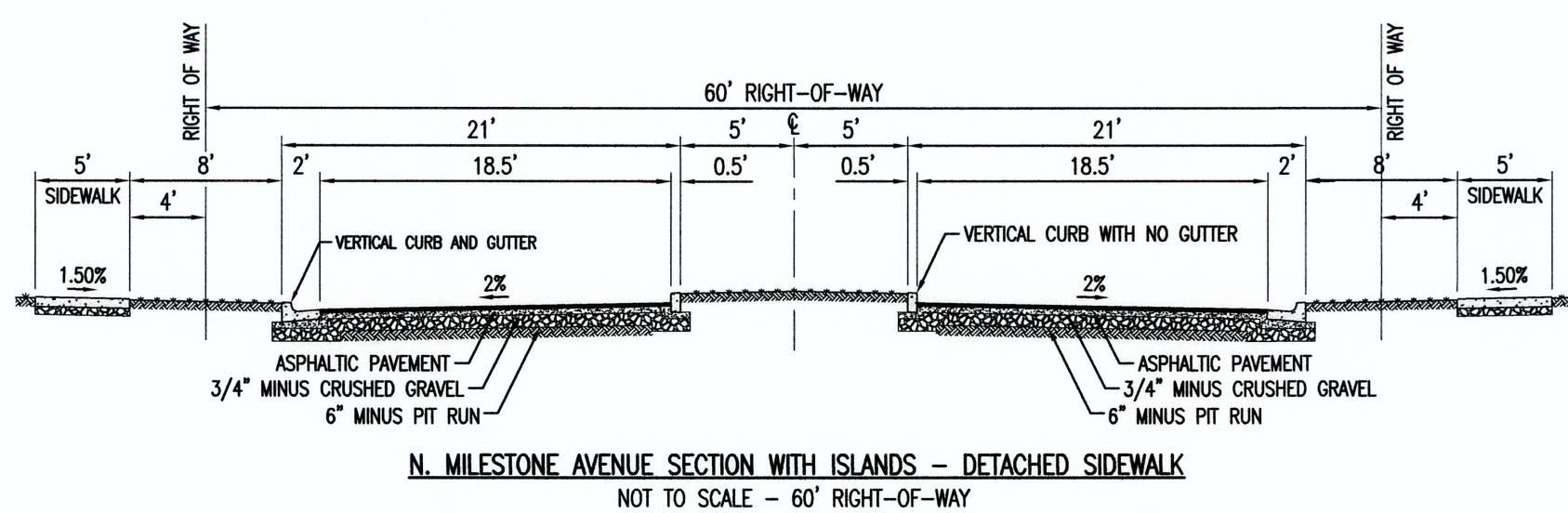
EXISTING: MW, RUT PROPOSED: R-5-DA

SITE AMENITIES

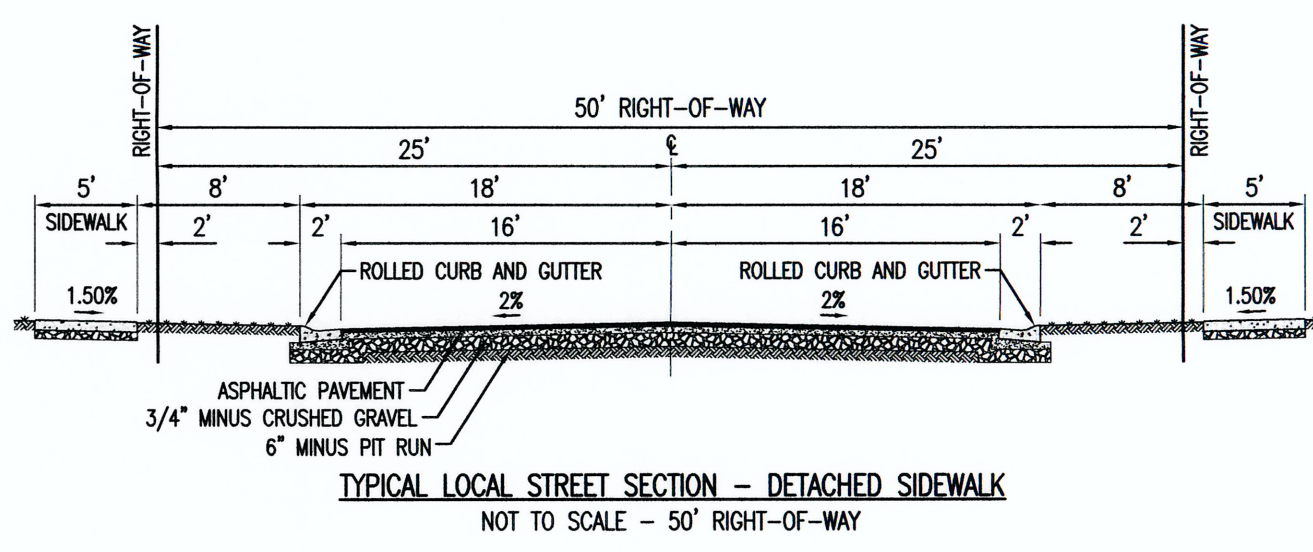
CLUB HOUSE, SWIMMING POOL FACILITY, PICKLEBALL COURTS,
PICNIC GAZEBO, MEWS, AND MULTI-USE PATHS

----	BOUNDARY LINE
=====	CITY LIMITS BOUNDARY
----	PHASING BOUNDARY
----	RIGHT-OF-WAY LINE
----	CENTERLINE
----	PROPERTY LOT LINE
----	ZERO LOT LINE
----	PROPOSED EASEMENT LINE
----	PROPERTY SETBACK LINE
=====	PROPOSED VERTICAL CURB
=====	PROPOSED ROLLED CURB
○-----SD	PROPOSED STORM DRAIN LINE AND MANHOLE
○-----SS	PROPOSED SANITARY SEWER LINE
○-----SS	EXISTING SEWER LINE AND MANHOLE

- FOUND 5/8" IRON PIN, AS NOTED
- FOUND 1/2" IRON PIN, AS NOTED
- FOUND BRASS CAP MONUMENT
- FOUND ALUMINUM CAP MONUMENT
- FOUND PK/MAG NAIL
- CALCULATED POINT, NOTHING SET



N. MILESTONE AVENUE SECTION WITH ISLANDS - DETACHED SIDEWALK
NOT TO SCALE - 60' RIGHT-OF-WAY



TYPICAL LOCAL STREET SECTION - DETACHED SIDEWALK
NOT TO SCALE - 50' RIGHT-OF-WAY

<div>DATE ISSUED05/06/2021</div> <div>PROJECT NO.201102</div> <div>DWG. FILE201102-P-PREL.dwg</div> <div>SCALEAS SHOWN</div> <div>DRAWN BYKDH</div> <div>CHECKED BYBLM</div>		<div>PRELIMINARY PLAT</div> <div>1028 N. ROSARIO STREET, SUITE 100 MERIDIAN, IDAHO 83842 PHONE: (208) 938-0980 FAX: (208) 938-0941</div>		<div>ENGINEERING SOLUTIONS^{LLP}</div> <div>1028 N. ROSARIO STREET, SUITE 100 MERIDIAN, IDAHO 83842 PHONE: (208) 938-0980 FAX: (208) 938-0941</div>		<div>REVISIONS</div> <table><thead><tr><th>NO.</th><th>DESCRIPTION</th><th>DATE</th><th>BY</th></tr></thead><tbody><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr></tbody></table> <div><small>© 2021 ENGINEERING SOLUTIONS. THE DRAWING OR FILE CONTAINS INFORMATION THAT IS THE PROPERTY OF ENGINEERING SOLUTIONS. ANY REPRODUCTION, IN WHOLE OR IN PART, WITHOUT THE WRITTEN PERMISSION OF ENGINEERING SOLUTIONS IS STRICTLY PROHIBITED.</small></div>		NO.	DESCRIPTION	DATE	BY																	<div>PLANNER</div> <div>BECKY McKay ENGINEERING SOLUTIONS 1028 N. ROSARIO STREET, STE. 100 MERIDIAN, ID 83842 PHONE: (208) 938-0980 FAX: (208) 938-0941 EMAIL: beckym@gengsol.org</div>	<div>SURVEYOR</div> <div>CLINT HANSEN, PLS LAND SOLUTIONS, PC 231 E 5TH STREET, STE A MERIDIAN, ID 83842 PHONE: (208) 288-2507 FAX: (208) 288-2501 EMAIL: chansen@landofsolutions.biz</div>	<div>DEVELOPER</div> <div>TOLL SOUTHWEST, LLC 3103 W. SHERYL DRIVE, STE 100 MERIDIAN, IDAHO 83842 PHONE: (208) 424-0020</div>	<div>OWNERS OF RECORD</div> <div>CORR NANNY FARMS, INC. CAROL M. DIXON AND SANDRA A. DIXON 8542 W. FLOATING FEATHER ROAD STAR, IDAHO 83869</div>
NO.	DESCRIPTION	DATE	BY																												
<div>MILESTONE RANCH SUBD. LOCATED WITHIN THE NW 1/4 OF THE SE 1/4, AND THE SW 1/4 OF THE NE 1/4 OF SECTION 4, T.4N., R.1W., B.M.</div>																															
<div>PREL-1</div> <div>SHEET 01 OF 02</div>																															

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LANDSCAPE NOTES:

1. REGULATIONS & STANDARDS

1.1. All contractor work shall be conducted in accordance with ISPMC (Idaho Standard Public Works Construction), 2017; and City of Star, ID codes, standards and state and local regulations.

2. EXISTING CONDITIONS

2.1. All utilities shall be located prior to construction and protected. Any damage to structures, utilities or concrete will be replaced at contractor's expense. The site has many existing improvements such as underground utilities, curb and gutter, light poles and sidewalks.

2.3. See Civil Engineer's plans for information about existing features; all drainage pipes and locations. Protect and retain drainage at all times.

3. GRADING & SITE PREPARATION

3.1. Prepare finish grades for planting by grubbing and removing weeds. If necessary apply Round-Up (or equivalent herbicide), using a certified applicator. Remove rocks and other materials over 2".

3.2. All gravel overprep to be removed and disposed of off site.

3.3. Finish grade to be smooth transition to allow for entire site to be a natural flowing space.

3.4. Refer to Civil Engineer's plans for grading information & for all drainage pipes and locations. Protect and retain drainage at all times.

3.5. No pooling or standing water will be accepted per industry standards.

4. SOILS

4.1. All planter beds to receive a minimum of 18" depth of screened topsoil. Spread, compact, and fine grade to smooth and uniform grade 2.5" below adjacent surfaces.

4.2. All lawn areas to receive a minimum of 12" depth of screened topsoil. Spread, compact, and fine grade to smooth and uniform grade 1" below adjacent surfaces.

4.3. Reuse of existing topsoil that has been stockpiled on site is permitted if:

4.3.1. Topsoil is tested and analyzed to ensure a proper growing medium. Provide additional amendments as determined by soil tests. And

4.3.2. Topsoil is to be loose, friable sandy loam that is clean and free of toxic materials, noxious weeds, weed seeds, rocks, grass or other foreign materials.

4.3.3. Topsoil should have a pH of 6.5 to 8.

4.3.4. If on site topsoil does not meet these minimum standards contractor is responsible for providing approved imported topsoil or improving onsite topsoil per the approval of the project manager.

4.4. If imported topsoil is used it must be from a local source and be screened free of any debris or foreign matter. Topsoil must not contain rocks, sticks, lumps, or toxic matter.

4.5. Smooth, compact, and fine grade topsoil in lawn areas to smooth and uniform grade .5" below adjacent surfaces.

4.6. Prepare finish grade of topsoil to elevations set by Civil Engineer's plans with positive drainage away from structures. Refer to Civil Engineer's plans for grading information.

4.7. Amend all new plantings with 2 parts topsoil and 1 part compost.

5. PLANTER BED MULCH

5.1. Planter beds to receive 3" depth of ¾" minus rock mulch, color: tan or approved other by architect.

5.2. Install over commercial grade weed barrier fabric.

5.3. All planter beds shall have black steel landscape edge per detail 3/L150.

6. LAWN AREAS

6.1. All lawn areas shall be sodded with tall turf type fescue.
- 6.2. Sod shall be regionally harvested, laid within 24 hours of harvesting, and laid with tight fitting joints.

7. PLANTS

7.1. All plant material shall be installed per industry standards.

7.2. All plant material shall meet or exceed the minimum federal standards as regulated by ANSI z60.1, American Standard for Nursery Stock. Plants not meeting these standards for quality, or plants determined to be unhealthy by Owner's representative, will be rejected.

7.3. All trees and shrubs to be installed per details.

7.4. Fertilize all trees and shrubs with 'Agriform' planting tablets or approved equal. Apply per manufacturer's recommendations.

7.5. All plants shall adhere to plant schedule, species & sizes. Any necessary substitutions due to availability or alternatives shall be coordinated to the landscape architect via submittal.

8. IRRIGATION

8.1. Irrigation system shall be built to the following specifications:

8.2. Adhere to city codes when connecting to city water.

8.3. All irrigation material to be new with manufacturers' warranty fully intact.

8.4. Install outdoor rated controller in specified location on plan. Coordinate with project manager on exact location.

8.5. Controller to include On/Off rain switch or other rain shut off device that does not alter program.

8.6. Irrigation system piping in landscape areas to be minimum schedule 40 PVC or approved equal, sleeves to be double the size of pipes located within, all wires to be contained in separate sleeves 1-1/2" dia min.

8.7. Coordinate all sleeving & pipe runs with owner (Local Construct) & Builder before installing.

8.8. Use common trenching where possible.

8.9. All wires to be 18 gauge direct, bury wire at a minimum of 12" below finished grade. Size wire for correct voltage loss.

8.10. Supply a minimum of (2) spare wires to furthest valves from controller in all directions.

8.11. Flow control device to be included on all remote control valves, including master control valve.

8.12. Connect mainline to point of connection in approximate location shown on plan.

8.13. Provide ¾" winterization port in location near POC. Winterization port to be located inside of its own standard valve box.

8.14. Contractor is responsible complying with all codes and paying all permits necessary.

8.15. Sprinkler heads shall have matched precipitation within each control circuit. Velocities shall not exceed 5 feet per second.

8.16. Locate irrigation materials in planters when possible and screen with vegetation when possible.

9. CONTRACTOR RESPONSIBILITIES

9.1. Estimated quantities are shown for general reference only. Contractor shall be responsible for all quantity estimates.

9.2. All plant material and workmanship shall be guaranteed for a period of one year beginning at the date of Substantial Completion. Replace all dead or unhealthy plant material immediately with same type and size at no cost to Owner.

9.3. Landscape contractor to turn in as built drawings at the end of project. Substantial Completion will not be granted until 2 copies @ 1" = 20' scale are turned in and approved by Owner's Representative.

10. In the event of a discrepancy, notify the Architect.

LANDSCAPE REQUIREMENTS:

CODE REQUIREMENTS PER STAR, ID.

STREET BUFFER:

* 1 CLASS II TREE PER 35 LINEAL FEET.

STREET NAME	LENGTH (LF)	TREES REQUIRED	TREES PROVIDED
W. FLOATING FEATHER RD	431' (MINUS CURB CUTS)	12	13
N. MILESTONE AVE (WEST SIDE)	1,103' (MINUS CURB CUTS)	32	32 (5 IN ISLAND)
N. MILESTONE AVE (EAST SIDE)	1,194' (MINUS CURB CUTS)	34	34 (5 IN ISLAND)
W. ARAGON ST (NORTH SIDE)	160' (MINUS CURB CUTS)	5	5
W. ARAGON ST (SOUTH SIDE)	133' (MINUS CURB CUTS)	4	4
W. LILBURN ST (NORTH SIDE)	131' (MINUS CURB CUTS)	4	4
W. LILBURN ST (SOUTH SIDE)	161' (MINUS CURB CUTS)	5	5
W. VALDOSTA ST (NORTH SIDE)	260' (MINUS CURB CUTS)	7	7
W. VALDOSTA ST (SOUTH SIDE)	266' (MINUS CURB CUTS)	8	8
N. OAKMAN AVE (WEST SIDE)	568' (MINUS CURB CUTS)	16	16
N. OAKMAN AVE (EAST SIDE)	902'	26	26 (INCLUDES 2 ON WS)
W. CHAMBLEE ST (NORTH SIDE)	382' (MINUS CURB CUTS)	11	11
W. CHAMBLEE ST (SOUTH SIDE)	382' (MINUS CURB CUTS)	11	12
N. DRY BRANCH AVE (WEST SIDE)	1,105' (MINUS CURB CUTS)	32	32
N. DRY BRANCH AVE (EAST SIDE)	883' (MINUS CURB CUTS)	25	25
W. STILLMORE ST (NORTH SIDE)	492' (MINUS CURB CUTS)	14	14
W. STILLMORE ST (SOUTH SIDE)	491' (MINUS CURB CUTS)	14	14
W. FANNIN ST (NORTH SIDE)	295' (MINUS CURB CUTS)	8	8
W. FANNIN ST (SOUTH SIDE)	252' (MINUS CURB CUTS)	7	8
N. GRAYSVILLE AVE (WEST SIDE)	388' (MINUS CURB CUTS)	11	11
N. GRAYSVILLE AVE (EAST SIDE)	464' (MINUS CURB CUTS)	13	9**
N. TAYBEE ISLAND AVE (WEST SIDE)	464' (MINUS CURB CUTS)	13	9**
N. TAYBEE ISLAND AVE (EAST SIDE)	388' (MINUS CURB CUTS)	11	11
W. SUGARHILL ST (NORTH SIDE)	398' (MINUS CURB CUTS)	11	11
W. SUGARHILL ST (SOUTH SIDE)	80' (MINUS CURB CUTS)	8	8
W. STOCK BRIDGE ST (NORTH SIDE)	516' (MINUS CURB CUTS)	15	15
W. STOCK BRIDGE ST (SOUTH SIDE)	398' (MINUS CURB CUTS)	11	12
W. STATESBORO ST (NORTH SIDE)	100'	3	3
W. STATESBORO ST (SOUTH SIDE)	100'	3	3
W. MAYSVILLE ST (NORTH SIDE)	566' (MINUS CURB CUTS)	16	16
W. MAYSVILLE ST (SOUTH SIDE)	516' (MINUS CURB CUTS)	15	15

** REDUCTION IN TREE COUNTS DUE TO SEEPAGE BEDS

COMMON LOT LANDSCAPE REQUIREMENTS:

• (1) TREE PER 4,000 SQ.FT.

COMMON LOT	AREA (SQ.FT.)	TREES REQUIRED	TREES PROVIDED
BLOCK 1, LOT 25C	48,153	12	12
BLOCK 2, LOT 1C	8,300	2	2
BLOCK 4, LOT 1C	1,304	1	1
BLOCK 6, LOT 1C	3,459	1	2
BLOCK 6, LOT 24C	4,588	1	1
BLOCK 8, LOT 1C	8,042	2	2
BLOCK 9, LOT 1C	13,400	3	8
BLOCK 10, LOT 1C	13,169	3	8
BLOCK 11, LOT 1C	4,000	1	2
BLOCK 11, LOT 7C	3,116	1	2
BLOCK 12, LOT 6C	106,300	27	33
BLOCK 13, LOT 1C	4,000	1	2
BLOCK 13, LOT 7C	3,082	1	2
BLOCK 14, LOT 1C	10,837	3	3
BLOCK 15, LOT 1C	10,637	3	6
BLOCK 16, LOT 1C	4,000	1	4
BLOCK 16, LOT 9C	4,243	1	4
BLOCK 17, LOT 1C	4,000	1	4
BLOCK 17, LOT 9C	4,243	1	4
BLOCK 18, LOT 1C	45,274	11	20

BIODIVERSITY REQUIREMENTS:

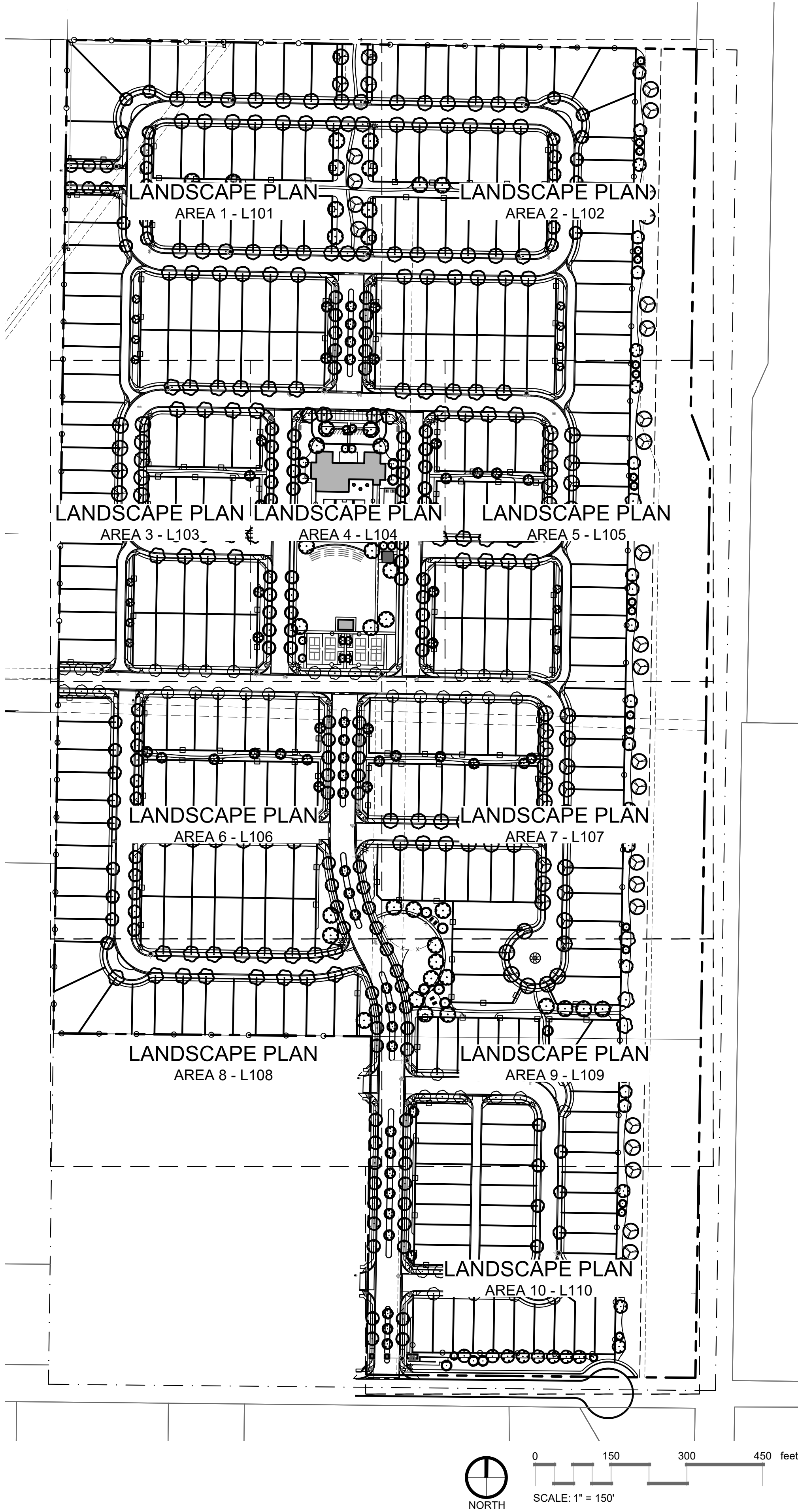
• MORE THAN 41 TREES ON SITE REQUIRES MINIMUM 5 DIFFERENT TREE SPECIES.

TOTAL TREES ON SITE	NUMBER OF SPECIES REQUIRED	NUMBER OF SPECIES PROVIDED
430	5	14

MINIMUM PLANT SIZES:

- | | |
|---------------------|-----------------|
| PLANT TYPE: | MINIMUM SIZE |
| • EVERGREEN TREES: | 6'-0" HT. MIN. |
| • ORNAMENTAL TREES: | 2" CALIPER MIN. |
| • SHADE TREES: | 2" CALIPER MIN. |
| • WOODY SHRUBS: | 2 GAL. MIN. |

LANDSCAPE PLAN - OVERALL:



(208) 345-0500
404 S 8th St. #154
Boise, ID 83702
StackRockGroup.com

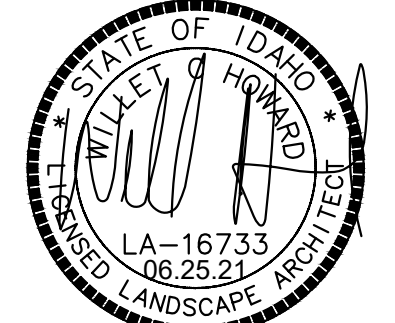
WILLET C HOWARD, PLA
OFFICE: (208) 345.0500 EMAIL:
WILL@STACKROCKGROUP.COM
WWW.STACKROCKGROUP.COM

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MILESTONE RANCH

STAR, ID

MRK	DATE	Description
△	**	**

JOB NO: 20-1956
DATE: 06.25.2021
DRAWN BY: DW
CHECKED BY: WH

DRAWING TITLE

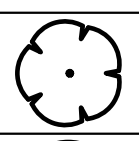
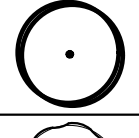
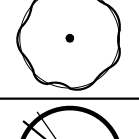
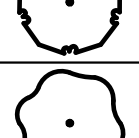
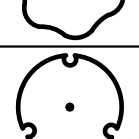
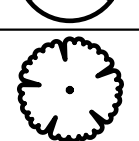
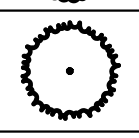
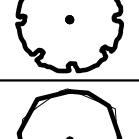
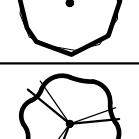
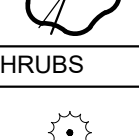
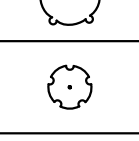
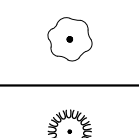
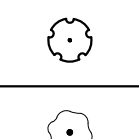
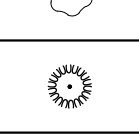
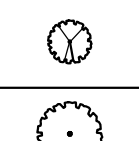
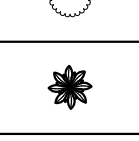
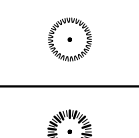
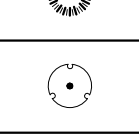
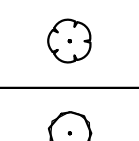
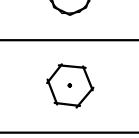
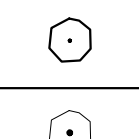
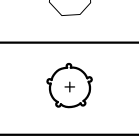


LANDSCAPE
PLAN - AREA 1

SHEET NUMBER


L100

STACK ROCK GROUP - CITY REVIEW SET


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PLANT SCHEDULE						
TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS
	Acer platanoides 'Crimson King' / Crimson King Norway Maple	B&B	2"		14	35'h X 25'W, Class II
	Acer truncatum 'Crimson Sunset' / Crimson Sunset Maple	B&B	2"		40	35'h x 25'w, Class II
	Celtis occidentalis / Common Hackberry	B&B	2"		49	40'h x 30'w, CLASS II
	Cladrastis kentukea 'Perkins Pink' / Perkins Pink Yellowwood	B&B	2"		75	35'h x 30'w, Class II
	Fraxinus pennsylvanica 'Patmore' / 'Patmore' Green Ash	B&B	2"		69	40'h x 20'w Class II
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B&B	2"		59	50'h x 30'w Class II
	Liriodendron tulipifera 'Emerald City' TM / Emerald City Tulip Tree	B&B	2"		64	50'h x 25'w CLASS II
	Malus x 'Spring Snow' / Spring Snow Crabapple	B&B	2"		60	25'h x 20'w, CLASS I
	Picea pungens 'Fat Albert' / Fat Albert Colorado Spruce	B&B		6'-8' H	25	30'h x 15'w
	Prunus virginiana 'Canada Red' / Canada Red Cherry	B&B	2"		14	25'h x 20'w Class II
	Pyrus calleryana 'Cleveland Select' / Cleveland Select Pear	B&B	2"		14	40'h x 17'w, Class I
	Quercus frainetto 'Schmidt' / Forest Green Oak	B&B	2"		43	50'h x 30'w, Class II
	Tilia americana 'Redmond' / Redmond American Linden	B&B	2"		79	50'h x 30'w Class II
	Tilia cordata 'Corzam' / Corinthian Littleleaf Linden	B&B	2"		16	45'h x 15'w CLASS II
SHRUBS	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY	REMARKS
	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	2 gal			537	5'h x 3'w
	Cotinus coggygria 'Grace' / Grace Smoke Bush	5 gal			28	15'h x 12'w
	Forsythia x 'Meadowlark' / Meadowlark Forsythia	5 gal			52	8'h x 10'w
	Forsythia x intermedia 'Mindor' TM / Show Off Forsythia	5 gal			50	6'h x 5'w
	Gaillardia x grandiflora 'Arizona Sun' / Arizona Sun Blanketflower	1 gal			74	18'h x 24'w
	Helictotrichon sempervirens / Blue Oat Grass	1 gal			228	3'h x 3'w
	Ilex crenata 'Sky Pencil' / Sky Pencil Japanese Holly	5 gal			250	6'h x 30'w
	Juniperus chinensis 'Hetzi Glauca' / Hetzi Blue Juniper	5 gal			43	8'h x 10'w
	Juniperus horizontalis 'Wiltonii' / Blue Rug Juniper	5 gal			112	6'h x 7'w
	Lavandula angustifolia 'Hidcote Blue' / Hidcote Blue Lavender	2 gal			59	30'h x 30'w, Drought Tolerant
	Leucanthemum x superbum / Shasta Daisy	1 gal			83	30'h x 24'w
	Miscanthus sinensis 'Variegatus' / Variegated Japanese Silver Grass	5 gal			127	6'h x 4'w
	Pennisetum alopecuroides 'Karlay Rose' / Karley Rose Fountain Grass	2 gal			242	30'h x 30'w, Drought Tolerant
	Pennisetum alopecuroides 'Moudry' / Black Flowering Fountain Grass	1 gal			97	3'h x 3'w
	Phlox subulata 'Emerald Pink' / Emerald Pink Creeping Phlox	1 gal			24	6'h x 36'w
	Physocarpus opulifolius 'SMNPOBLR' TM / Ginger Wine Ninebark	5 gal			213	5'h x 5'w
	Pinus mugo 'Mops' / Mops Mugo Pine	5 gal			49	5'h x 5'w
	Rhamnus frangula 'Fine Line' / Fine Line Buckthorn	5 gal			377	7'h x 3'w, Drought Tolerant
	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal			224	18'h x 6'w, Drought Tolerant
	Salvia nemorosa 'East Friesland' / East Friesland Perennial Sage	2 gal			85	18'h X 2'w, Drought Tolerant
	Spiraea japonica 'Neon Flash' / Neon Flash Spirea	2 gal			34	3'h x 3'w

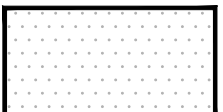
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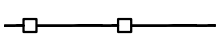
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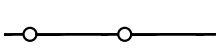
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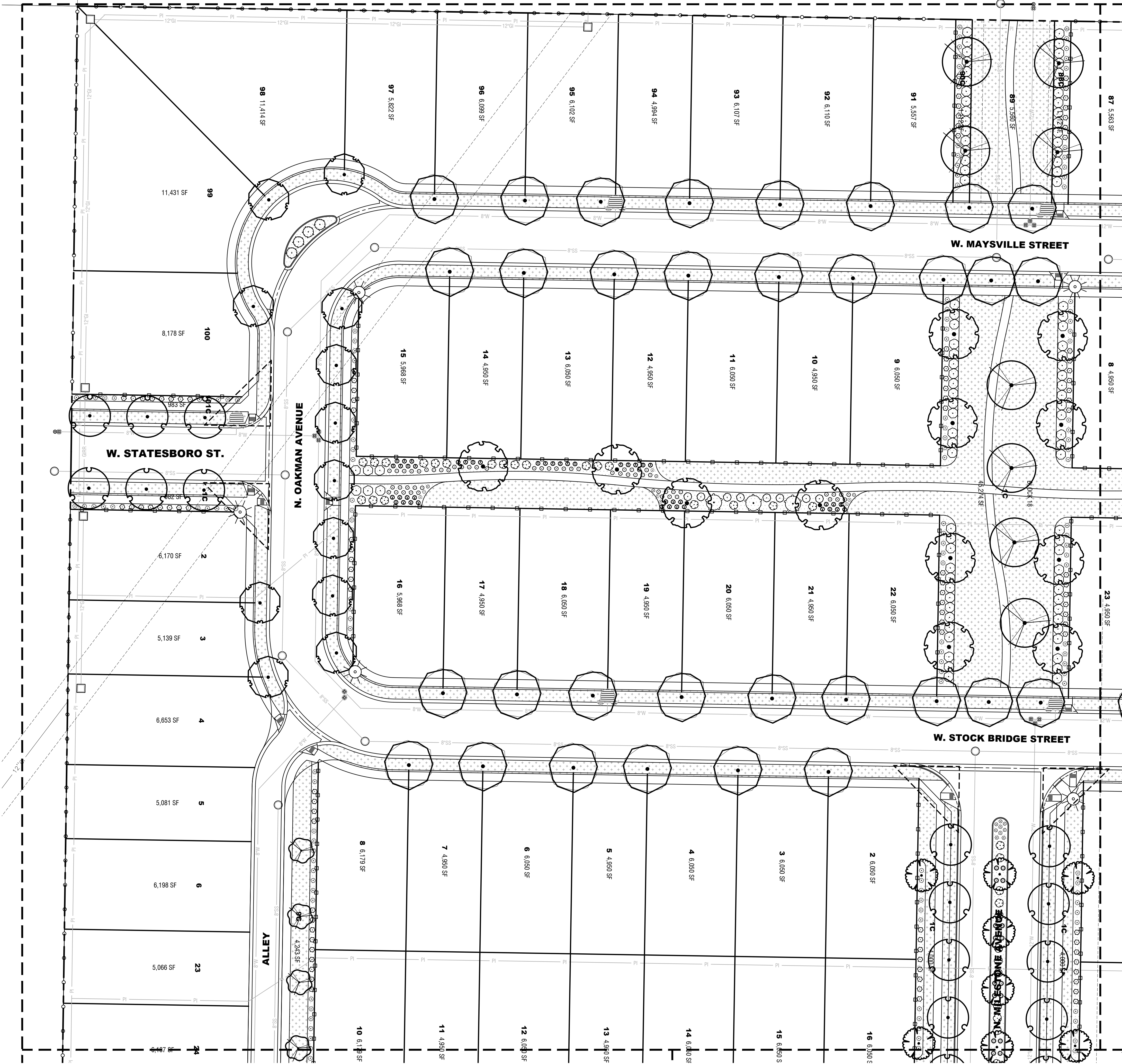
PLANTER BED AREAS - LANDSCAPE MULCH PER LANDSCAPE NOTES




4' OPEN FENCE



6' WOOD PRIVACY FENCE





STACK ROCK GROUP
LANDSCAPE ARCHITECTURE & MASTER PLANNING
(208) 345-0500
404 S 8th St. #154
Boise, ID 83702
StackRockGroup.com

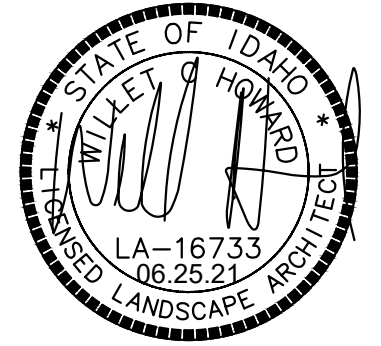
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MILESTONE RANCH

STAR, ID

REVISIONS

MRK	DATE	Description
△	**	**

JOB NO: 20-1956
DATE: 06.25.2021
DRAWN BY: DW
CHECKED BY: WH

DRAWING TITLE

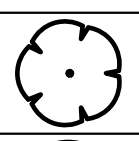
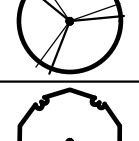
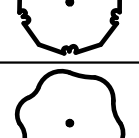
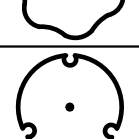
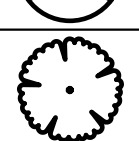
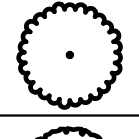
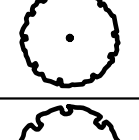
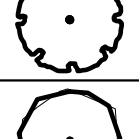
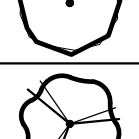
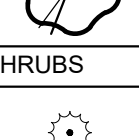
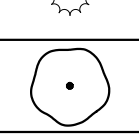
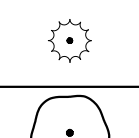
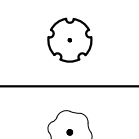
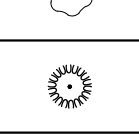
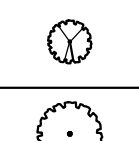
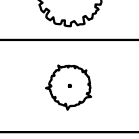
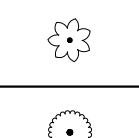
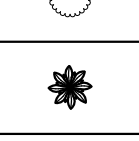
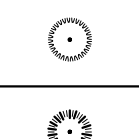
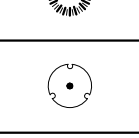
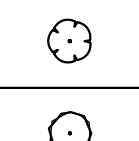
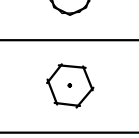
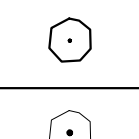
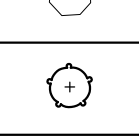



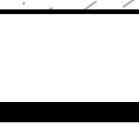

LANDSCAPE PLAN - AREA 1

SHEET NUMBER


L101

STACK ROCK GROUP - CITY REVIEW SET


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PLANT SCHEDULE						
TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS
	Acer platanoides 'Crimson King' / Crimson King Norway Maple	B&B	2"		14	35' h X 25' w, Class II
	Acer truncatum 'Crimson Sunset' / Crimson Sunset Maple	B&B	2"		40	35' h x 25' w, Class II
	Celtis occidentalis / Common Hackberry	B&B	2"		49	40' h x 30' w, CLASS II
	Cladrastis kentukea 'Perkins Pink' / Perkins Pink Yellowwood	B&B	2"		75	35' h x 30' w, Class II
	Fraxinus pennsylvanica 'Patmore' / 'Patmore' Green Ash	B&B	2"		69	40' h x 20' w Class II
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B&B	2"		59	50' h x 30' w Class II
	Liriodendron tulipifera 'Emerald City' TM / Emerald City Tulip Tree	B&B	2"		64	50' h x 25' w CLASS II
	Malus x 'Spring Snow' / Spring Snow Crabapple	B&B	2"		60	25' h x 20' w, CLASS I
	Picea pungens 'Fat Albert' / Fat Albert Colorado Spruce	B&B		6'-8' H	25	30' h x 15' w
	Prunus virginiana 'Canada Red' / Canada Red Cherry	B&B	2"		14	25' h x 20' w Class II
	Pyrus calleryana 'Cleveland Select' / Cleveland Select Pear	B&B	2"		14	40' h x 17' w, Class I
	Quercus frainetto 'Schmidt' / Forest Green Oak	B&B	2"		43	50' h x 30' w, Class II
	Tilia americana 'Redmond' / Redmond American Linden	B&B	2"		79	50' h x 30' w Class II
	Tilia cordata 'Corzam' / Corinthian Littleleaf Linden	B&B	2"		16	45' h x 15' w CLASS II
SHRUBS	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY	REMARKS
	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	2 gal			537	5' h x 3' w
	Cotinus coggygia 'Grace' / Grace Smoke Bush	5 gal			28	15' h x 12' w
	Forsythia x 'Meadowlark' / Meadowlark Forsythia	5 gal			52	8' h x 10' w
	Forsythia x intermedia 'Mindor' TM / Show Off Forsythia	5 gal			50	6' h x 5' w
	Gaillardia x grandiflora 'Arizona Sun' / Arizona Sun Blanketflower	1 gal			74	18" h x 24" w
	Helictotrichon sempervirens / Blue Oat Grass	1 gal			228	3' h x 3' w
	Ilex crenata 'Sky Pencil' / Sky Pencil Japanese Holly	5 gal			250	6' h x 30" w
	Juniperus chinensis 'Hetzi Glauca' / Hetzi Blue Juniper	5 gal			43	8' h x 10' w
	Juniperus horizontalis 'Wiltonii' / Blue Rug Juniper	5 gal			112	6" h x 7' w
	Lavandula angustifolia 'Hidcote Blue' / Hidcote Blue Lavender	2 gal			59	30" h x 30" w, Drought Tolerant
	Leucanthemum x superbum / Shasta Daisy	1 gal			83	30" h x 24" w
	Miscanthus sinensis 'Variegatus' / Variegated Japanese Silver Grass	5 gal			127	6' h x 4' w
	Pennisetum alopecuroides 'Karlay Rose' / Karley Rose Fountain Grass	2 gal			242	30" h x 30" w, Drought Tolerant
	Pennisetum alopecuroides 'Moudry' / Black Flowering Fountain Grass	1 gal			97	3' h x 3' w
	Phlox subulata 'Emerald Pink' / Emerald Pink Creeping Phlox	1 gal			24	6" h x 36" w
	Physocarpus opulifolius 'SMNPOBLR' TM / Ginger Wine Ninebark	5 gal			213	5' h x 5' w
	Pinus mugo 'Mops' / Mops Mugo Pine	5 gal			49	5' h x 5' w
	Rhamnus frangula 'Fine Line' / Fine Line Buckthorn	5 gal			377	7' h x 3' w, Drought Tolerant
	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal			224	18" h x 6' w, Drought Tolerant
	Salvia nemorosa 'East Friesland' / East Friesland Perennial Sage	2 gal			85	18" h x 2' w, Drought Tolerant
	Spiraea japonica 'Neon Flash' / Neon Flash Spirea	2 gal			34	3' h x 3' w

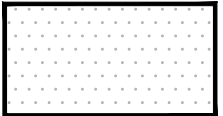
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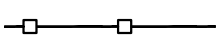
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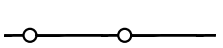
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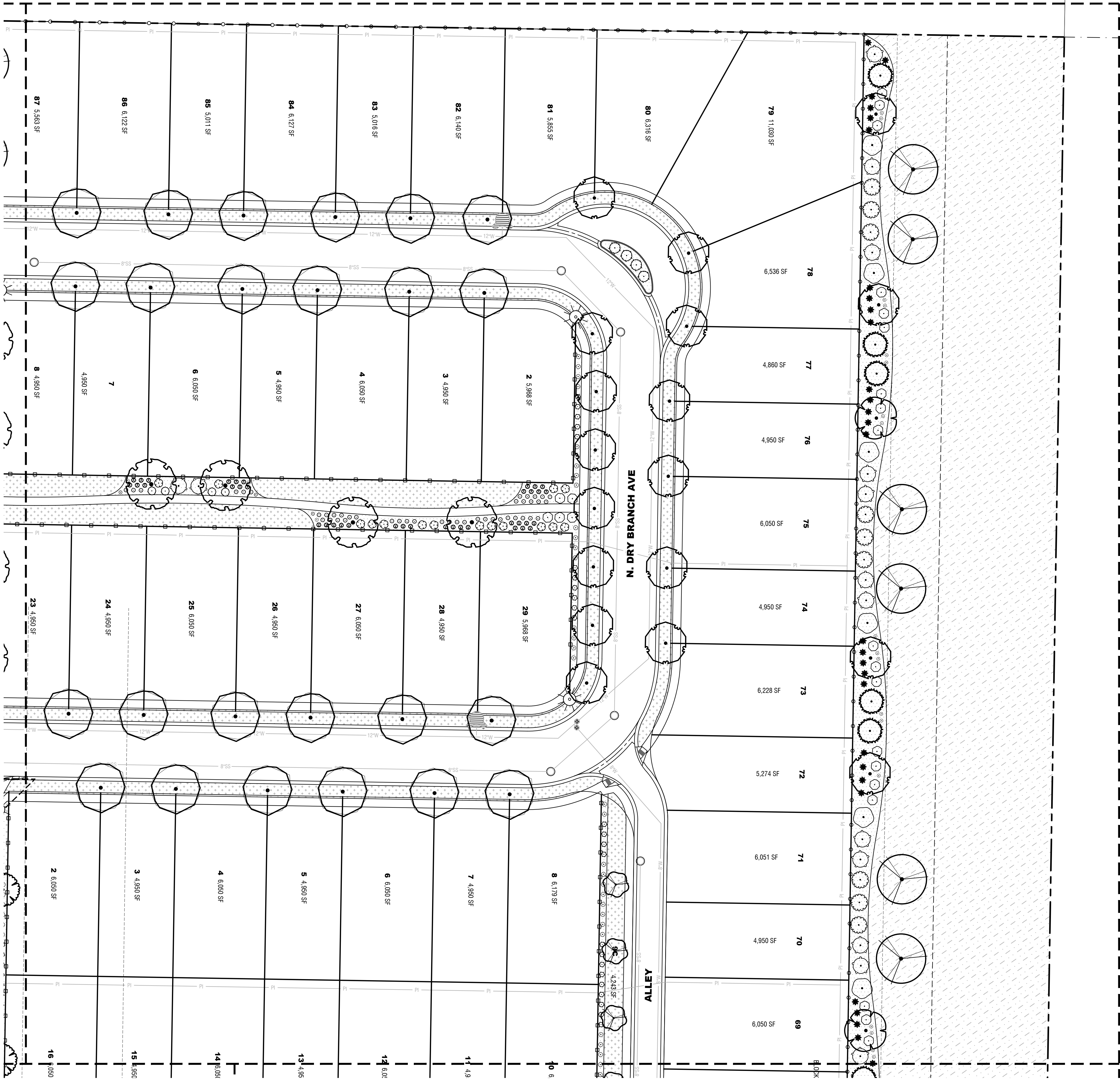
PLANTER BED AREAS - LANDSCAPE MULCH PER LANDSCAPE NOTES



4' OPEN FENCE



6' WOOD PRIVACY FENCE





STACK ROCK GROUP
LANDSCAPE
ARCHITECTURE
& MASTER PLANNING

(208) 345-0500
404 S 8th St. #154
Boise, ID 83702
StackRockGroup.com

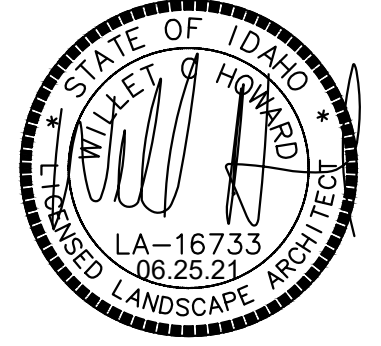
WILLET C HOWARD, PLA
OFFICE: (208) 345.0500 EMAIL:
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MILESTONE RANCH	
STAR, ID	

REVISIONS		
MRK	DATE	Description
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JOB NO: 20-1956
DATE: 06.25.2021
DRAWN BY: DW
CHECKED BY: WH

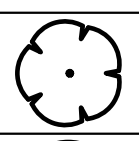
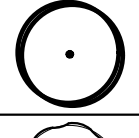
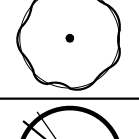
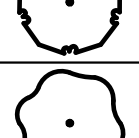
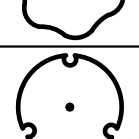
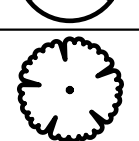
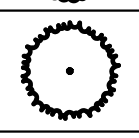
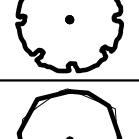
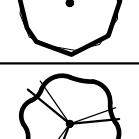
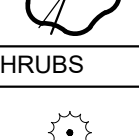
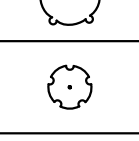
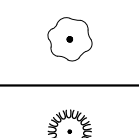
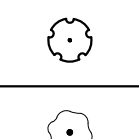
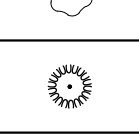
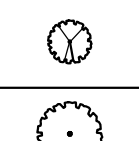
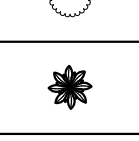
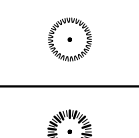
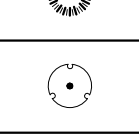
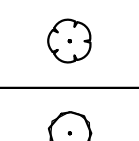
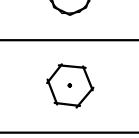
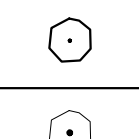
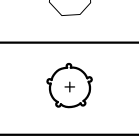




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**LANDSCAPE
PLAN - AREA 2**


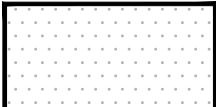

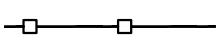
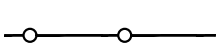
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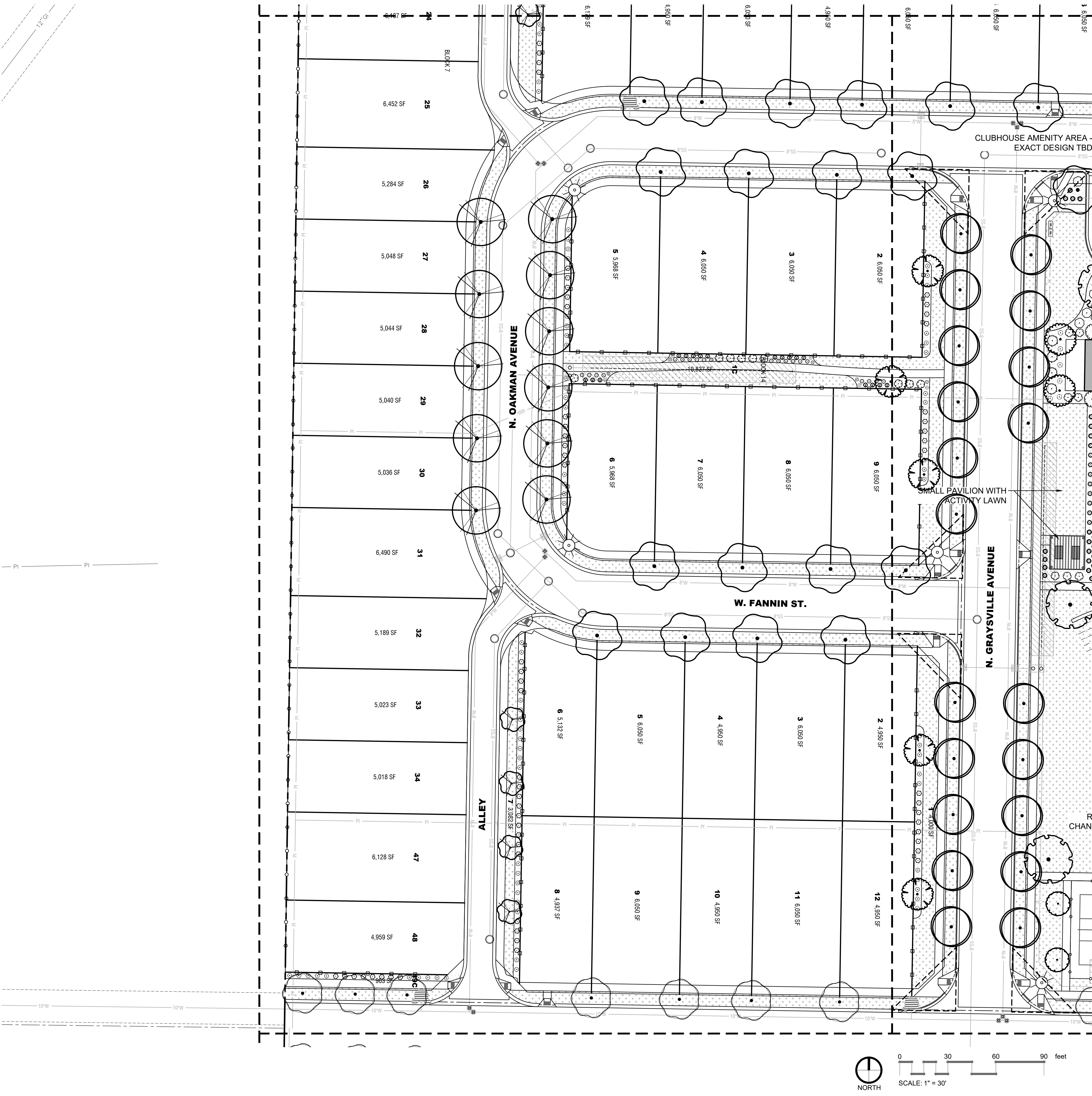
L102


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PLANT SCHEDULE						
TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS
	Acer platanoides 'Crimson King' / Crimson King Norway Maple	B&B	2"		14	35' H X 25' W, Class II
	Acer truncatum 'Crimson Sunset' / Crimson Sunset Maple	B&B	2"		40	35' h x 25' w, Class II
	Celtis occidentalis / Common Hackberry	B&B	2"		49	40' h x 30' w, CLASS II
	Cladrastis kentukea 'Perkins Pink' / Perkins Pink Yellowwood	B&B	2"		75	35' h x 30' w, Class II
	Fraxinus pennsylvanica 'Patmore' / 'Patmore' Green Ash	B&B	2"		69	40' h x 20' w Class II
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B&B	2"		59	50' h x 30' w Class II
	Liriodendron tulipifera 'Emerald City' TM / Emerald City Tulip Tree	B&B	2"		64	50' h x 25' w CLASS II
	Malus x 'Spring Snow' / Spring Snow Crabapple	B&B	2"		60	25' h x 20' w, CLASS I
	Picea pungens 'Fat Albert' / Fat Albert Colorado Spruce	B&B		6'-8' H	25	30' h x 15' w
	Prunus virginiana 'Canada Red' / Canada Red Cherry	B&B	2"		14	25' h x 20' w Class II
	Pyrus calleryana 'Cleveland Select' / Cleveland Select Pear	B&B	2"		14	40' h x 17' w, Class I
	Quercus frainetto 'Schmidt' / Forest Green Oak	B&B	2"		43	50' h x 30' w, Class II
	Tilia americana 'Redmond' / Redmond American Linden	B&B	2"		79	50' h x 30' w Class II
	Tilia cordata 'Corzam' / Corinthian Littleleaf Linden	B&B	2"		16	45' h x 15' w CLASS II
SHRUBS	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY	REMARKS
	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	2 gal			537	5' h x 3' w
	Cotinus coggygria 'Grace' / Grace Smoke Bush	5 gal			28	15' h x 12' w
	Forsythia x 'Meadowlark' / Meadowlark Forsythia	5 gal			52	8' h x 10' w
	Forsythia x intermedia 'Mindo' TM / Show Off Forsythia	5 gal			50	6' h x 5' w
	Gaillardia x grandiflora 'Arizona Sun' / Arizona Sun Blanketflower	1 gal			74	18" h x 24" w
	Helictotrichon sempervirens / Blue Oat Grass	1 gal			228	3' h x 3' w
	Ilex crenata 'Sky Pencil' / Sky Pencil Japanese Holly	5 gal			250	6' h x 30" w
	Juniperus chinensis 'Hetzi Glauca' / Hetzi Blue Juniper	5 gal			43	8' h x 10' w
	Juniperus horizontalis 'Wiltonii' / Blue Rug Juniper	5 gal			112	6" h x 7' w
	Lavandula angustifolia 'Hidcote Blue' / Hidcote Blue Lavender	2 gal			59	30" h x 30" w, Drought Tolerant
	Leucanthemum x superbum / Shasta Daisy	1 gal			83	30" h x 24" w
	Miscanthus sinensis 'Variegatus' / Variegated Japanese Silver Grass	5 gal			127	6' h x 4' w
	Pennisetum alopecuroides 'Karlay Rose' / Karley Rose Fountain Grass	2 gal			242	30" h x 30" w, Drought Tolerant
	Pennisetum alopecuroides 'Moudry' / Black Flowering Fountain Grass	1 gal			97	3' h x 3' w
	Phlox subulata 'Emerald Pink' / Emerald Pink Creeping Phlox	1 gal			24	6" h x 36" w
	Physocarpus opulifolius 'SMNPOBLR' TM / Ginger Wine Ninebark	5 gal			213	5' h x 5' w
	Pinus mugo 'Mops' / Mops Mugo Pine	5 gal			49	5' h x 5' w
	Rhamnus frangula 'Fine Line' / Fine Line Buckthorn	5 gal			377	7' h x 3' w, Drought Tolerant
	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal			224	18" h x 6' w, Drought Tolerant
	Salvia nemorosa 'East Friesland' / East Friesland Perennial Sage	2 gal			85	18" X 2' w, Drought Tolerant
	Spiraea japonica 'Neon Flash' / Neon Flash Spirea	2 gal			34	3' h x 3' w

LANDSCAPE MATERIALS LEGEND:

	SOD LAWN		PLANTER BED AREAS - LANDSCAPE MULCH PER LANDSCAPE NOTES
	NATIVE SEED MIX WITH SAGEBRUSH & WILDFLOWERS - SEED IN DISTURBED AREAS		4' OPEN FENCE
			6' WOOD PRIVACY FENCE





STACK ROCK GROUP
LANDSCAPE ARCHITECTURE & MASTER PLANNING

(208) 345-0500
404 S 8th St. #154
Boise, ID 83702
StackRockGroup.com

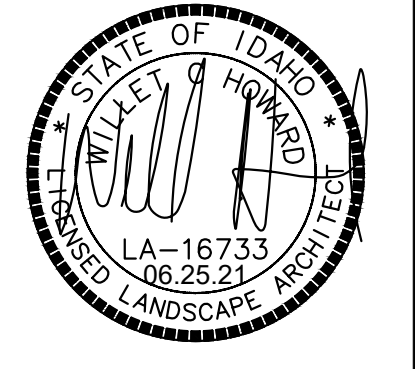
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MILESTONE RANCH

STAR, ID

REVISIONS

MRK	DATE	Description
△	**	**

JOB NO: 20-1956
DATE: 06.25.2021
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CHECKED BY: WH

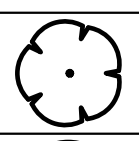
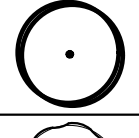
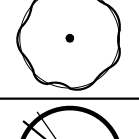
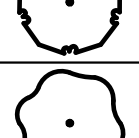
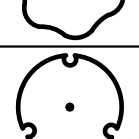
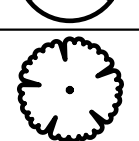
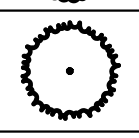
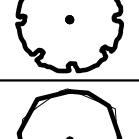
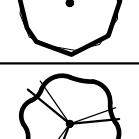
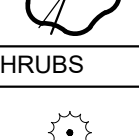
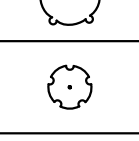
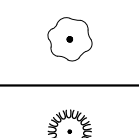
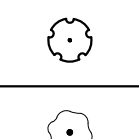
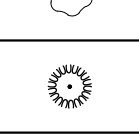
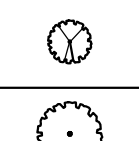
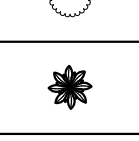
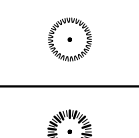
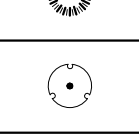
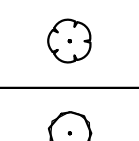
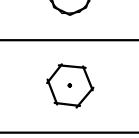
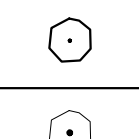
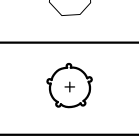



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LANDSCAPE PLAN - AREA 3


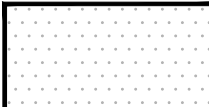

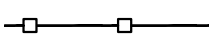
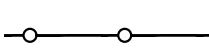
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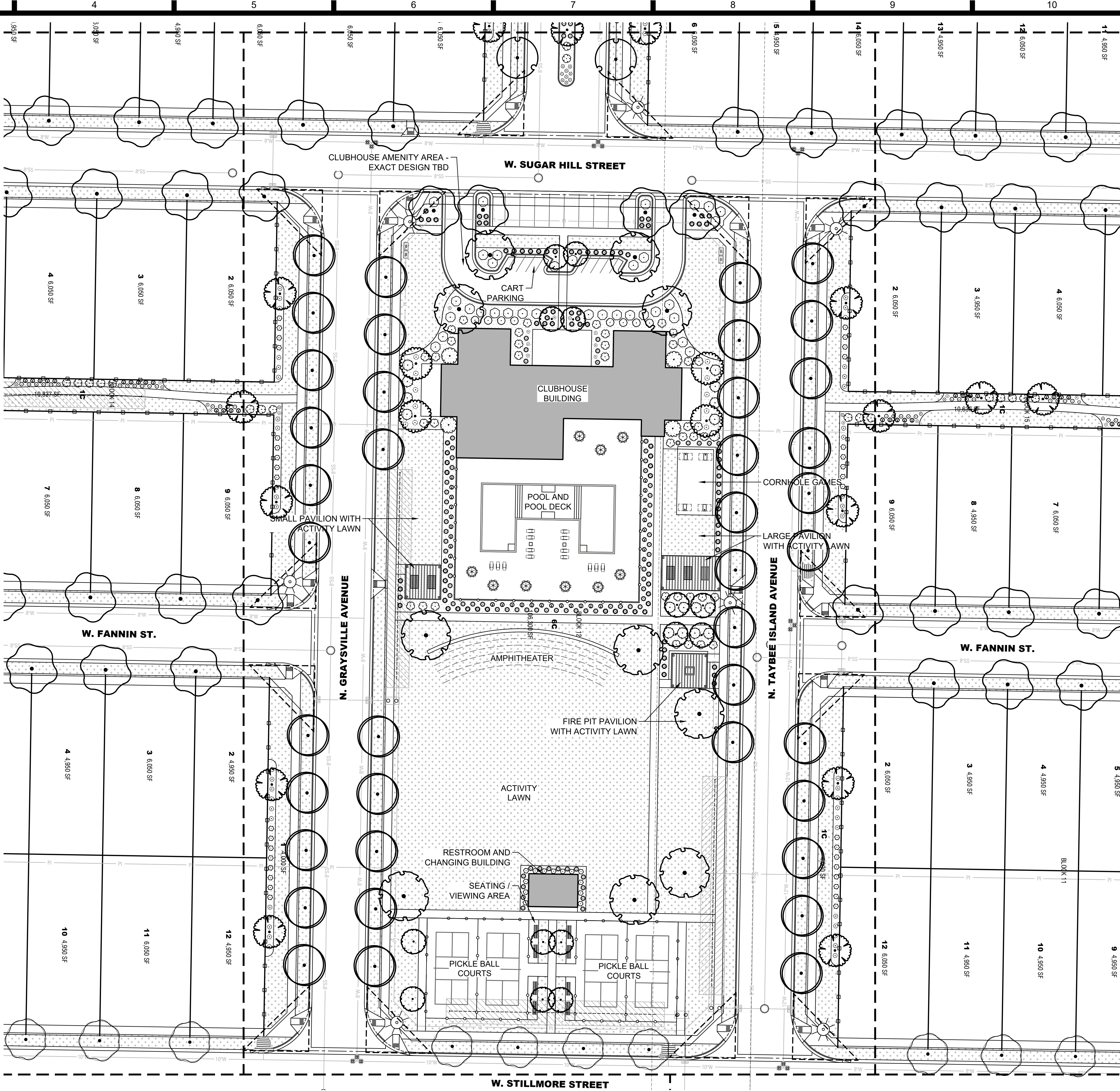
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PLANT SCHEDULE						
TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS
	Acer platanoides 'Crimson King' / Crimson King Norway Maple	B&B	2"		14	35' H X 25' W, Class II
	Acer truncatum 'Crimson Sunset' / Crimson Sunset Maple	B&B	2"		40	35' h x 25' w, Class II
	Celtis occidentalis / Common Hackberry	B&B	2"		49	40' h x 30' w, CLASS II
	Cladrastis kentukea 'Perkins Pink' / Perkins Pink Yellowwood	B&B	2"		75	35' h x 30' w, Class II
	Fraxinus pennsylvanica 'Patmore' / 'Patmore' Green Ash	B&B	2"		69	40' h x 20' w Class II
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B&B	2"		59	50' h x 30' w Class II
	Liriodendron tulipifera 'Emerald City' TM / Emerald City Tulip Tree	B&B	2"		64	50' h x 25' w CLASS II
	Malus x 'Spring Snow' / Spring Snow Crabapple	B&B	2"		60	25' h x 20' w, CLASS I
	Picea pungens 'Fat Albert' / Fat Albert Colorado Spruce	B&B		6'-8' H	25	30' h x 15' w
	Prunus virginiana 'Canada Red' / Canada Red Cherry	B&B	2"		14	25' h x 20' w Class II
	Pyrus calleryana 'Cleveland Select' / Cleveland Select Pear	B&B	2"		14	40' h x 17' w, Class I
	Quercus frainetii 'Schmidt' / Forest Green Oak	B&B	2"		43	50' h x 30' w, Class II
	Tilia americana 'Redmond' / Redmond American Linden	B&B	2"		79	50' h x 30' w Class II
	Tilia cordata 'Corzam' / Corinthian Littleleaf Linden	B&B	2"		16	45' h x 15' w CLASS II
SHRUBS	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY	REMARKS
	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	2 gal			537	5' h x 3' w
	Cotinus coggygria 'Grace' / Grace Smoke Bush	5 gal			28	15' h x 12' w
	Forsythia x 'Meadowlark' / Meadowlark Forsythia	5 gal			52	8' h x 10' w
	Forsythia x intermedia 'Mindor' TM / Show Off Forsythia	5 gal			50	6' h x 5' w
	Gaillardia x grandiflora 'Arizona Sun' / Arizona Sun Blanketflower	1 gal			74	18" h x 24" w
	Helictotrichon sempervirens / Blue Oat Grass	1 gal			228	3' h x 3' w
	Ilex crenata 'Sky Pencil' / Sky Pencil Japanese Holly	5 gal			250	6' h x 30" w
	Juniperus chinensis 'Hetzi Glauca' / Hetzi Blue Juniper	5 gal			43	8' h x 10' w
	Juniperus horizontalis 'Wiltonii' / Blue Rug Juniper	5 gal			112	6" h x 7' w
	Lavandula angustifolia 'Hidcote Blue' / Hidcote Blue Lavender	2 gal			59	30" h x 30" w, Drought Tolerant
	Leucanthemum x superbum / Shasta Daisy	1 gal			83	30" h x 24" w
	Miscanthus sinensis 'Variegatus' / Variegated Japanese Silver Grass	5 gal			127	6' h x 4' w
	Pennisetum alopecuroides 'Karlay Rose' / Karley Rose Fountain Grass	2 gal			242	30" h x 30" w, Drought Tolerant
	Pennisetum alopecuroides 'Moudry' / Black Flowering Fountain Grass	1 gal			97	3' h x 3' w
	Phlox subulata 'Emerald Pink' / Emerald Pink Creeping Phlox	1 gal			24	6" h x 36" w
	Physocarpus opulifolius 'SMNPOBLR' TM / Ginger Wine Ninebark	5 gal			213	5' h x 5' w
	Pinus mugo 'Mops' / Mops Mugo Pine	5 gal			49	5' h x 5' w
	Rhamnus frangula 'Fine Line' / Fine Line Buckthorn	5 gal			377	7' h x 3' w, Drought Tolerant
	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal			224	18" h x 6' w, Drought Tolerant
	Salvia nemorosa 'East Friesland' / East Friesland Perennial Sage	2 gal			85	18" h x 2' w, Drought Tolerant
	Spiraea japonica 'Neon Flash' / Neon Flash Spirea	2 gal			34	3' h x 3' w

LANDSCAPE MATERIALS LEGEND:

	SOD LAWN		PLANTER BED AREAS - LANDSCAPE MULCH PER LANDSCAPE NOTES
	NATIVE SEED MIX WITH SAGEBRUSH & WILDFLOWERS - SEED IN DISTURBED AREAS		4' OPEN FENCE
			6' WOOD PRIVACY FENCE



(208) 345-0500
404 S 8th St. #154
Boise, ID 83702
StackRockGroup.com

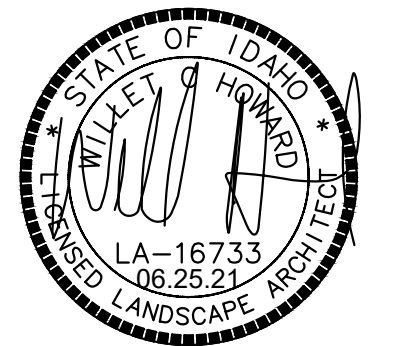
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MILESTONE RANCH

REVISIONS		
MRK	DATE	Description
△	**	**

JOB NO: 20-1956
DATE: 06.25.2021
DRAWN BY: DW
CHECKED BY: WH

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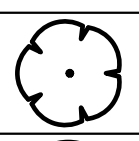
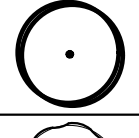
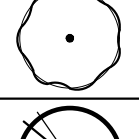
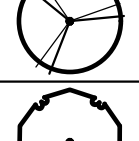
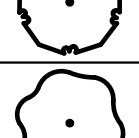
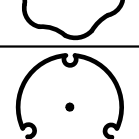
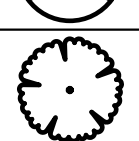
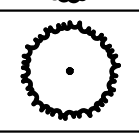
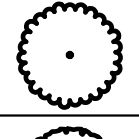
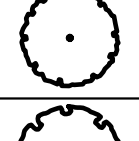
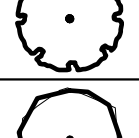
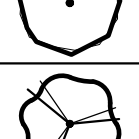
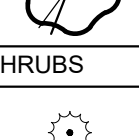
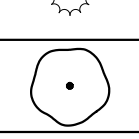
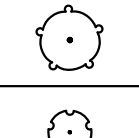
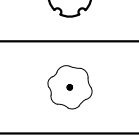
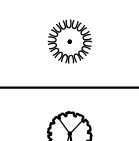
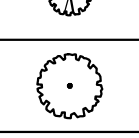
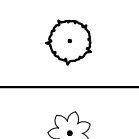
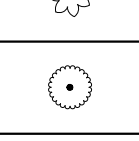
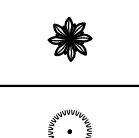
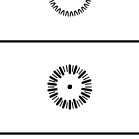
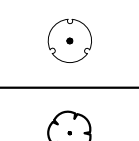
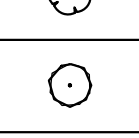
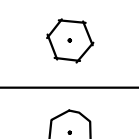
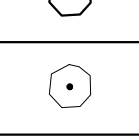
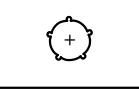





LANDSCAPE
PLAN - AREA 4

SHEET NUMBER


L104

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PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS
	Acer platanoides 'Crimson King' / Crimson King Norway Maple	B&B	2"		14	35'h X 25'w, Class II
	Acer truncatum 'Crimson Sunset' / Crimson Sunset Maple	B&B	2"		40	35'h x 25'w, Class II
	Celtis occidentalis / Common Hackberry	B&B	2"		49	40'h x 30'w, CLASS II
	Cladrastis kentukea 'Perkins Pink' / Perkins Pink Yellowwood	B&B	2"		75	35'h x 30'w, Class II
	Fraxinus pennsylvanica 'Patmore' / 'Patmore' Green Ash	B&B	2"		69	40'h x 20'w Class II
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B&B	2"		59	50'h x 30'w Class II
	Liriodendron tulipifera 'Emerald City' TM / Emerald City Tulip Tree	B&B	2"		64	50'h x 25'w CLASS II
	Malus x 'Spring Snow' / Spring Snow Crabapple	B&B	2"		60	25'h x 20'w, CLASS I
	Picea pungens 'Fat Albert' / Fat Albert Colorado Spruce	B&B		6'-8' H	25	30'h x 15'w
	Prunus virginiana 'Canada Red' / Canada Red Cherry	B&B	2"		14	25'h x 20'w Class II
	Pyrus calleryana 'Cleveland Select' / Cleveland Select Pear	B&B	2"		14	40'h x 17'w, Class I
	Quercus frainetto 'Schmidt' / Forest Green Oak	B&B	2"		43	50'h x 30'w, Class II
	Tilia americana 'Redmond' / Redmond American Linden	B&B	2"		79	50'h x 30'w Class II
	Tilia cordata 'Corzam' / Corinthian Littleleaf Linden	B&B	2"		16	45'h x 15'w CLASS II
SHRUBS	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY	REMARKS
	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	2 gal			537	5'h x 3'w
	Cotinus coggygia 'Grace' / Grace Smoke Bush	5 gal			28	15'h x 12'w
	Forsythia x 'Meadowlark' / Meadowlark Forsythia	5 gal			52	8'h x 10'w
	Forsythia x intermedia 'Mindor' TM / Show Off Forsythia	5 gal			50	6'h x 5'w
	Gaillardia x grandiflora 'Arizona Sun' / Arizona Sun Blanketflower	1 gal			74	18'h x 24'w
	Helictotrichon sempervirens / Blue Oat Grass	1 gal			228	3'h x 3'w
	Ilex crenata 'Sky Pencil' / Sky Pencil Japanese Holly	5 gal			250	6'h x 30'w
	Juniperus chinensis 'Hetzi Glauca' / Hetzi Blue Juniper	5 gal			43	8'h x 10'w
	Juniperus horizontalis 'Wiltonii' / Blue Rug Juniper	5 gal			112	6'h x 7'w
	Lavandula angustifolia 'Hidcote Blue' / Hidcote Blue Lavender	2 gal			59	30'h x 30'w, Drought Tolerant
	Leucanthemum x superbum / Shasta Daisy	1 gal			83	30'h x 24'w
	Miscanthus sinensis 'Variegatus' / Variegated Japanese Silver Grass	5 gal			127	6'h x 4'w
	Pennisetum alopecuroides 'Karlay Rose' / Karlay Rose Fountain Grass	2 gal			242	30'h x 30'w, Drought Tolerant
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	Physocarpus opulifolius 'SMNPOBLR' TM / Ginger Wine Ninebark	5 gal			213	5'h x 5'w
	Pinus mugo 'Mops' / Mops Mugo Pine	5 gal			49	5'h x 5'w
	Rhamnus frangula 'Fine Line' / Fine Line Buckthorn	5 gal			377	7'h x 3'w, Drought Tolerant
	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal			224	18'h x 6'w, Drought Tolerant
	Salvia nemorosa 'East Friesland' / East Friesland Perennial Sage	2 gal			85	18'h X 2'w, Drought Tolerant
	Spiraea japonica 'Neon Flash' / Neon Flash Spirea	2 gal			34	3'h x 3'w

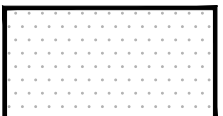
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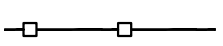
SOD LAWN



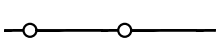
NATIVE SEED MIX WITH SAGEBRUSH & WILDFLOWERS - SEED IN DISTURBED AREAS



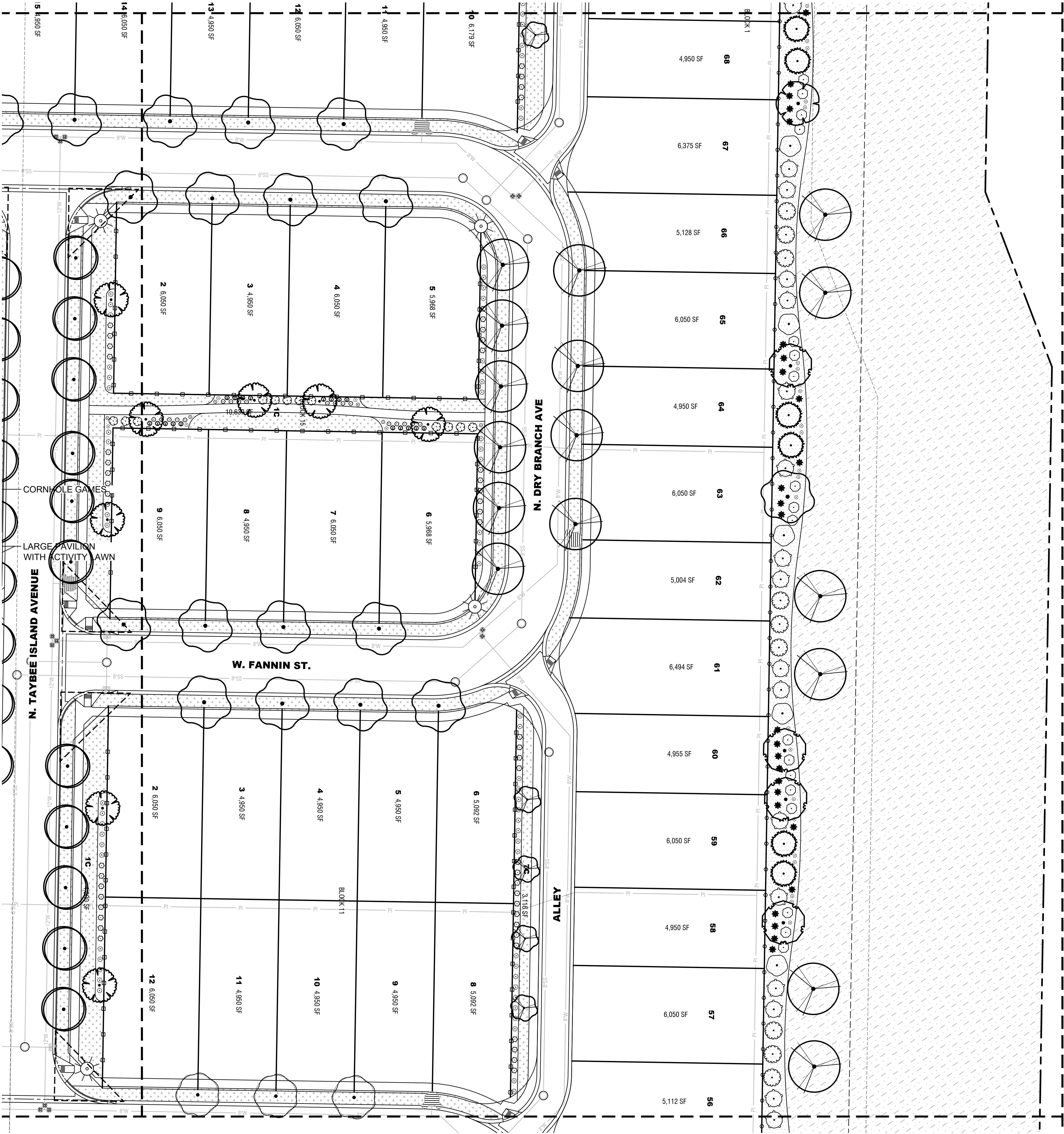
PLANTER BED AREAS - LANDSCAPE MULCH PER LANDSCAPE NOTES



4' OPEN FENCE



6' WOOD PRIVACY FENCE





STACK ROCK GROUP
LANDSCAPE
ARCHITECTURE
& MASTER PLANNING

(208) 345-0500
404 S 8th St. #154
Boise, ID 83702
StackRockGroup.com

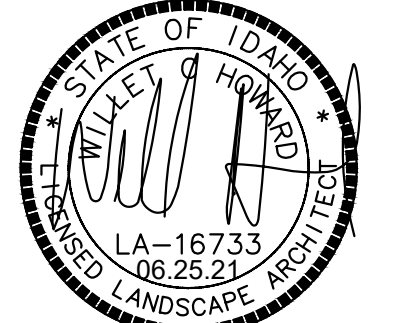
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STAR, ID

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MRK	DATE	Description
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JOB NO: 20-1956
DATE: 06.25.2021
DRAWN BY: DW
CHECKED BY: WH

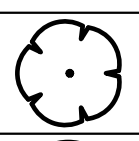
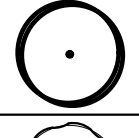
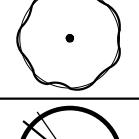
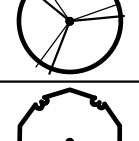
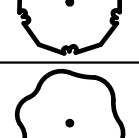
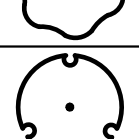
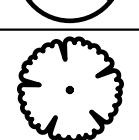
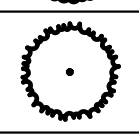
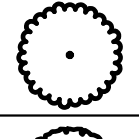
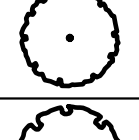
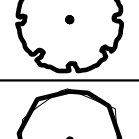
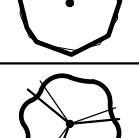
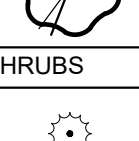
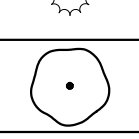
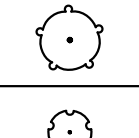
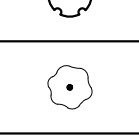
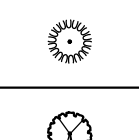
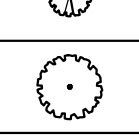
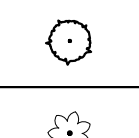
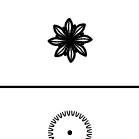
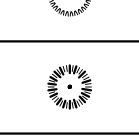
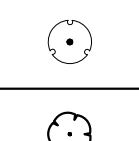
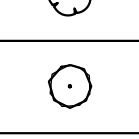
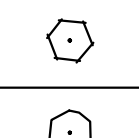
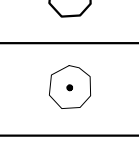
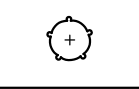





DRAWING TITLE

LANDSCAPE
PLAN - AREA 5

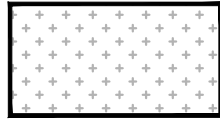
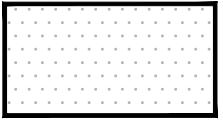

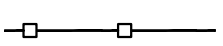
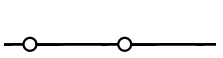
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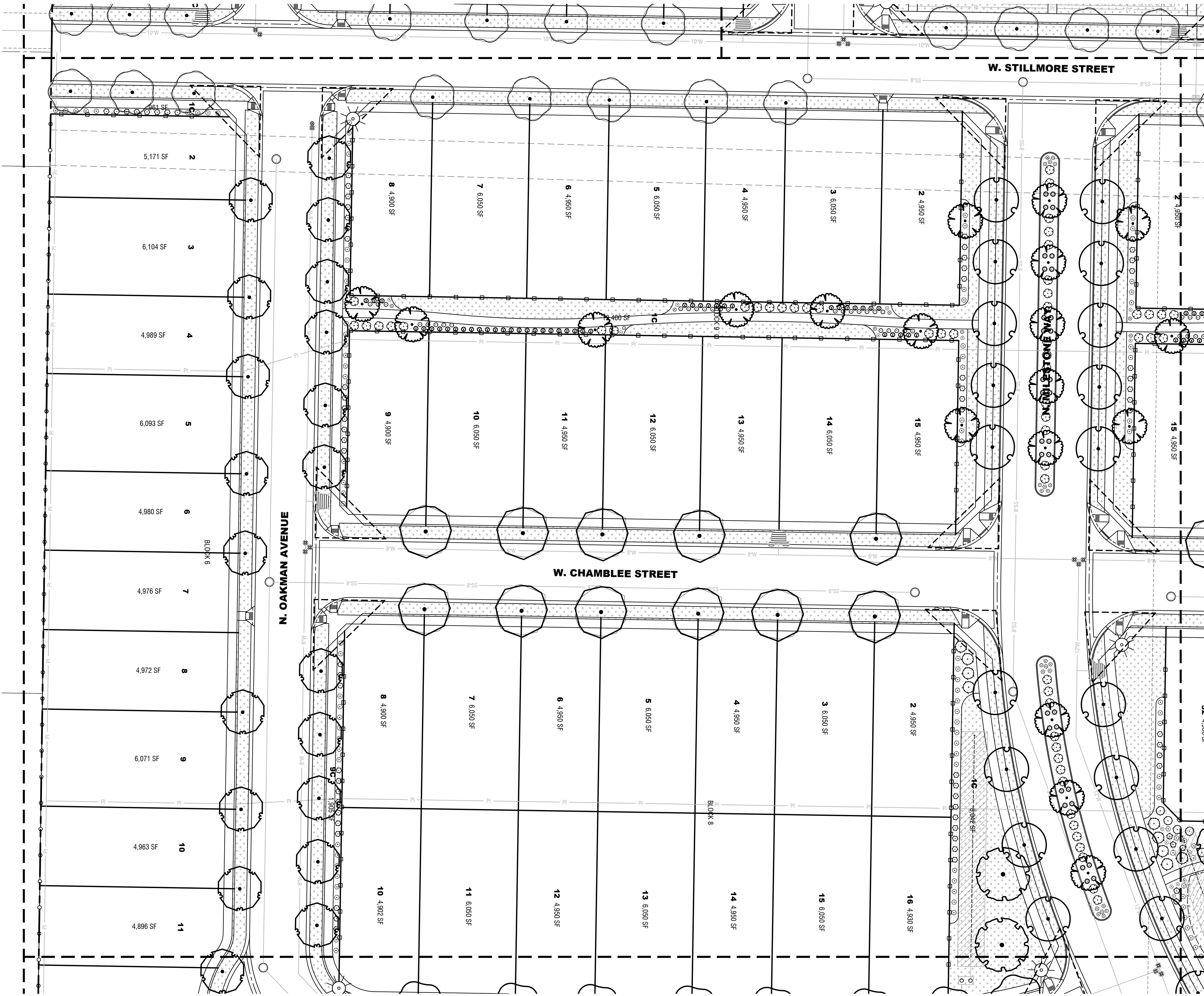
L105

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PLANT SCHEDULE						
TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS
	Acer platanoides 'Crimson King' / Crimson King Norway Maple	B&B	2"		14	35' H X 25' W, Class II
	Acer truncatum 'Crimson Sunset' / Crimson Sunset Maple	B&B	2"		40	35' h x 25' w, Class II
	Celtis occidentalis / Common Hackberry	B&B	2"		49	40' h x 30' w, CLASS II
	Cladrastis kentuckea 'Perkins Pink' / Perkins Pink Yellowwood	B&B	2"		75	35' h x 30' w, Class II
	Fraxinus pennsylvanica 'Patmore' / 'Patmore' Green Ash	B&B	2"		69	40' h x 20' w Class II
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B&B	2"		59	50' h x 30' w Class II
	Liriodendron tulipifera 'Emerald City' TM / Emerald City Tulip Tree	B&B	2"		64	50' h x 25' w CLASS II
	Malus x 'Spring Snow' / Spring Snow Crabapple	B&B	2"		60	25' h x 20' w, CLASS I
	Picea pungens 'Fat Albert' / Fat Albert Colorado Spruce	B&B		6'-8' H	25	30' h x 15' w
	Prunus virginiana 'Canada Red' / Canada Red Cherry	B&B	2"		14	25' h x 20' w Class II
	Pyrus calleryana 'Cleveland Select' / Cleveland Select Pear	B&B	2"		14	40' h x 17' w, Class I
	Quercus frainetto 'Schmidt' / Forest Green Oak	B&B	2"		43	50' h x 30' w, Class II
	Tilia americana 'Redmond' / Redmond American Linden	B&B	2"		79	50' h x 30' w Class II
	Tilia cordata 'Corzam' / Corinthian Littleleaf Linden	B&B	2"		16	45' h x 15' w CLASS II
SHRUBS	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY	REMARKS
	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	2 gal			537	5' h x 3' w
	Cotinus coggygia 'Grace' / Grace Smoke Bush	5 gal			28	15' h x 12' w
	Forsythia x 'Meadowlark' / Meadowlark Forsythia	5 gal			52	8' h x 10' w
	Forsythia x intermedia 'Mindo' TM / Show Off Forsythia	5 gal			50	6' h x 5' w
	Gaillardia x grandiflora 'Arizona Sun' / Arizona Sun Blanketflower	1 gal			74	18" h x 24" w
	Helictotrichon sempervirens / Blue Oat Grass	1 gal			228	3' h x 3' w
	Ilex crenata 'Sky Pencil' / Sky Pencil Japanese Holly	5 gal			250	6' h x 30" w
	Juniperus chinensis 'Hetzi Glauca' / Hetzi Blue Juniper	5 gal			43	8' h x 10' w
	Juniperus horizontalis 'Wiltonii' / Blue Rug Juniper	5 gal			112	6" h x 7' w
	Lavandula angustifolia 'Hidcote Blue' / Hidcote Blue Lavender	2 gal			59	30" h x 30" w, Drought Tolerant
	Leucanthemum x superbum / Shasta Daisy	1 gal			83	30" h x 24" w
	Miscanthus sinensis 'Variegatus' / Variegated Japanese Silver Grass	5 gal			127	6' h x 4' w
	Pennisetum alopecuroides 'Karlay Rose' / Karley Rose Fountain Grass	2 gal			242	30" h x 30" w, Drought Tolerant
	Pennisetum alopecuroides 'Moudry' / Black Flowering Fountain Grass	1 gal			97	3' h x 3' w
	Phlox subulata 'Emerald Pink' / Emerald Pink Creeping Phlox	1 gal			24	6" h x 36" w
	Physocarpus opulifolius 'SMNPOBLR' TM / Ginger Wine Ninebark	5 gal			213	5' h x 5' w
	Pinus mugo 'Mops' / Mops Mugo Pine	5 gal			49	5' h x 5' w
	Rhamnus frangula 'Fine Line' / Fine Line Buckthorn	5 gal			377	7' h x 3' w, Drought Tolerant
	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal			224	18" h x 6' w, Drought Tolerant
	Salvia nemorosa 'East Friesland' / East Friesland Perennial Sage	2 gal			85	18" h x 2' w, Drought Tolerant
	Spiraea japonica 'Neon Flash' / Neon Flash Spirea	2 gal			34	3' h x 3' w

LANDSCAPE MATERIALS LEGEND:

	SOD LAWN		PLANTER BED AREAS - LANDSCAPE MULCH PER LANDSCAPE NOTES
	NATIVE SEED MIX WITH SAGEBRUSH & WILDFLOWERS - SEED IN DISTURBED AREAS		4' OPEN FENCE
			6' WOOD PRIVACY FENCE





STACK ROCK GROUP
LANDSCAPE
ARCHITECTURE
& MASTER PLANNING

(208) 345-0500
404 S 8th St. #154
Boise, ID 83702
StackRockGroup.com

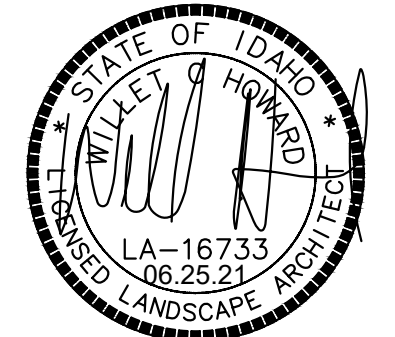
WILLET C HOWARD, PLA
OFFICE: (208) 345.0500 EMAIL:
wllg@stackrockgroup.com
www.stackrockgroup.com

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REVISIONS	
MRK	DATE
△	**
Description	
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JOB NO: 20-1956
DATE: 06.25.2021
DRAWN BY: DW
CHECKED BY: WH

DRAWING TITLE

LANDSCAPE
PLAN - AREA 6

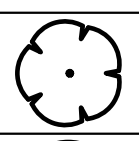
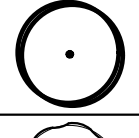
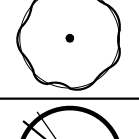
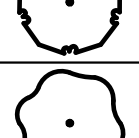
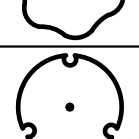
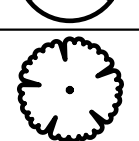
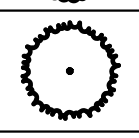
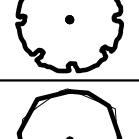
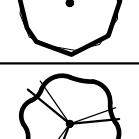
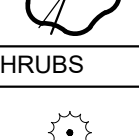
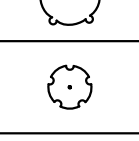
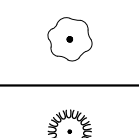
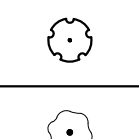
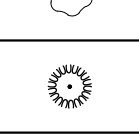
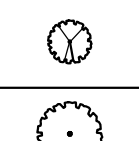
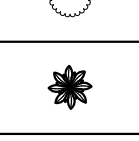
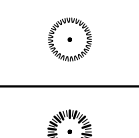
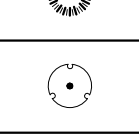
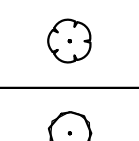
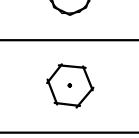
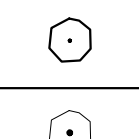
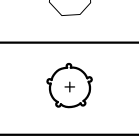


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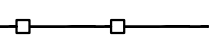
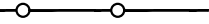
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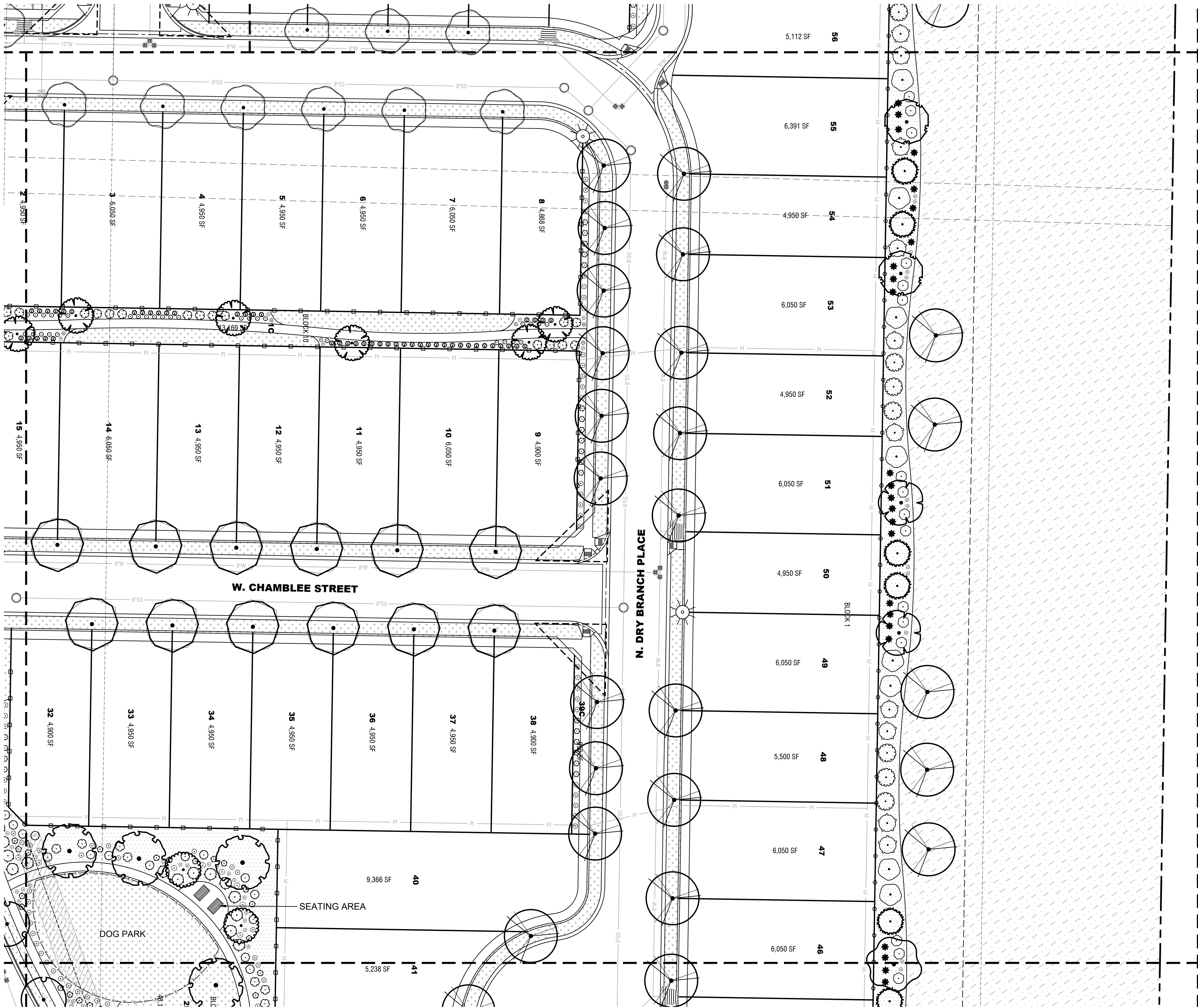
STACK ROCK GROUP - CITY REVIEW SET

L106

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PLANT SCHEDULE						
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	Celtis occidentalis / Common Hackberry	B&B	2"		49	40' h x 30' w, CLASS II
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	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B&B	2"		59	50' h x 30' w Class II
	Liriodendron tulipifera 'Emerald City' TM / Emerald City Tulip Tree	B&B	2"		64	50' h x 25' w CLASS II
	Malus x 'Spring Snow' / Spring Snow Crabapple	B&B	2"		60	25' h x 20' w, CLASS I
	Picea pungens 'Fat Albert' / Fat Albert Colorado Spruce	B&B		6'-8' H	25	30' h x 15' w
	Prunus virginiana 'Canada Red' / Canada Red Cherry	B&B	2"		14	25' h x 20' w Class II
	Pyrus calleryana 'Cleveland Select' / Cleveland Select Pear	B&B	2"		14	40' h x 17' w, Class I
	Quercus frainetto 'Schmidt' / Forest Green Oak	B&B	2"		43	50' h x 30' w, Class II
	Tilia americana 'Redmond' / Redmond American Linden	B&B	2"		79	50' h x 30' w Class II
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	Gaillardia x grandiflora 'Arizona Sun' / Arizona Sun Blanketflower	1 gal			74	18" h x 24" w
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	Juniperus horizontalis 'Wiltonii' / Blue Rug Juniper	5 gal			112	6" h x 7' w
	Lavandula angustifolia 'Hidcote Blue' / Hidcote Blue Lavender	2 gal			59	30" h x 30" w, Drought Tolerant
	Leucanthemum x superbum / Shasta Daisy	1 gal			83	30" h x 24" w
	Miscanthus sinensis 'Variegatus' / Variegated Japanese Silver Grass	5 gal			127	6' h x 4' w
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	Pennisetum alopecuroides 'Moudry' / Black Flowering Fountain Grass	1 gal			97	3' h x 3' w
	Phlox subulata 'Emerald Pink' / Emerald Pink Creeping Phlox	1 gal			24	6" h x 36" w
	Physocarpus opulifolius 'SMNPOBLR' TM / Ginger Wine Ninebark	5 gal			213	5' h x 5' w
	Pinus mugo 'Mops' / Mops Mugo Pine	5 gal			49	5' h x 5' w
	Rhamnus frangula 'Fine Line' / Fine Line Buckthorn	5 gal			377	7' h x 3' w, Drought Tolerant
	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal			224	18" h x 6' w, Drought Tolerant
	Salvia nemorosa 'East Friesland' / East Friesland Perennial Sage	2 gal			85	18" h x 2' w, Drought Tolerant
	Spiraea japonica 'Neon Flash' / Neon Flash Spirea	2 gal			34	3' h x 3' w

LANDSCAPE MATERIALS LEGEND:	
	SOD LAWN
	NATIVE SEED MIX WITH SAGEBRUSH & WILDFLOWERS - SEED IN DISTURBED AREAS
	PLANTER BED AREAS - LANDSCAPE MULCH PER LANDSCAPE NOTES
	4' OPEN FENCE
	6' WOOD PRIVACY FENCE





STACK ROCK GROUP
LANDSCAPE
ARCHITECTURE
& MASTER PLANNING

(208) 345-0500
404 S 8th St. #154
Boise, ID 83702
StackRockGroup.com

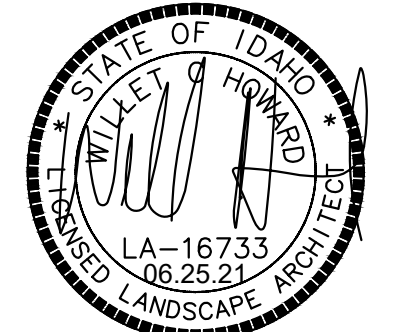
WILLET C HOWARD, PLA
OFFICE: (208) 345.0500 EMAIL:
WILL@STACKROCKGROUP.COM
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MILESTONE RANCH	
STAR, ID	

REVISIONS		
MRK	DATE	Description
△	**	**

JOB NO:	20-1956
DATE:	06.25.2021
DRAWN BY:	DW
CHECKED BY:	WH

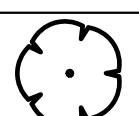
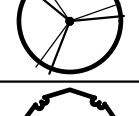
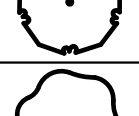
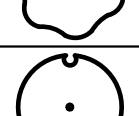
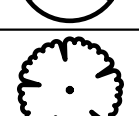
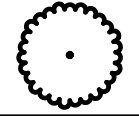
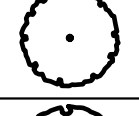
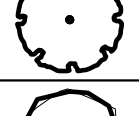
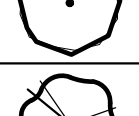

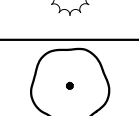
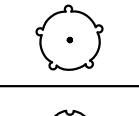
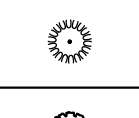
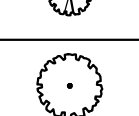
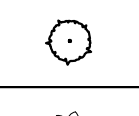
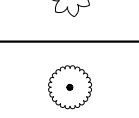
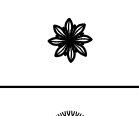
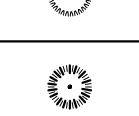
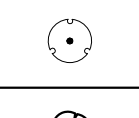
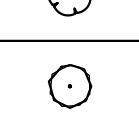
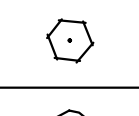
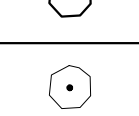
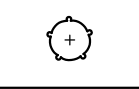





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LANDSCAPE
PLAN - AREA 7


SHEET NUMBER

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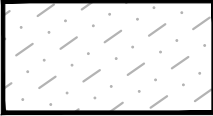
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PLANT SCHEDULE						
TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS
	Acer platanoides 'Crimson King' / Crimson King Norway Maple	B&B	2"		14	35' H X 25' W, Class II
	Acer truncatum 'Crimson Sunset' / Crimson Sunset Maple	B&B	2"		40	35' h x 25' w, Class II
	Celtis occidentalis / Common Hackberry	B&B	2"		49	40' h x 30' w, CLASS II
	Cladrastis kentuckea 'Perkins Pink' / Perkins Pink Yellowwood	B&B	2"		75	35' h x 30' w, Class II
	Fraxinus pennsylvanica 'Patmore' / 'Patmore' Green Ash	B&B	2"		69	40' h x 20' w Class II
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B&B	2"		59	50' h x 30' w Class II
	Liriodendron tulipifera 'Emerald City' TM / Emerald City Tulip Tree	B&B	2"		64	50' h x 25' w CLASS II
	Malus x 'Spring Snow' / Spring Snow Crabapple	B&B	2"		60	25' h x 20' w, CLASS I
	Picea pungens 'Fat Albert' / Fat Albert Colorado Spruce	B&B		6'-8' H	25	30' h x 15' w
	Prunus virginiana 'Canada Red' / Canada Red Cherry	B&B	2"		14	25' h x 20' w Class II
	Pyrus calleryana 'Cleveland Select' / Cleveland Select Pear	B&B	2"		14	40' h x 17' w, Class I
	Quercus frainetto 'Schmidt' / Forest Green Oak	B&B	2"		43	50' h x 30' w, Class II
	Tilia americana 'Redmond' / Redmond American Linden	B&B	2"		79	50' h x 30' w Class II
	Tilia cordata 'Corzam' / Corinthian Littleleaf Linden	B&B	2"		16	45' h x 15' w CLASS II
SHRUBS	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY	REMARKS
	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	2 gal			537	5' h x 3' w
	Cotinus coggygria 'Grace' / Grace Smoke Bush	5 gal			28	15' h x 12' w
	Forsythia x 'Meadowlark' / Meadowlark Forsythia	5 gal			52	8' h x 10' w
	Forsythia x intermedia 'Mindor' TM / Show Off Forsythia	5 gal			50	6' h x 5' w
	Gaillardia x grandiflora 'Arizona Sun' / Arizona Sun Blanketflower	1 gal			74	18" h x 24" w
	Helictotrichon sempervirens / Blue Oat Grass	1 gal			228	3' h x 3' w
	Ilex crenata 'Sky Pencil' / Sky Pencil Japanese Holly	5 gal			250	6' h x 30" w
	Juniperus chinensis 'Hetzi Glauca' / Hetzi Blue Juniper	5 gal			43	8' h x 10' w
	Juniperus horizontalis 'Wiltonii' / Blue Rug Juniper	5 gal			112	6" h x 7' w
	Lavandula angustifolia 'Hidcote Blue' / Hidcote Blue Lavender	2 gal			59	30" h x 30" w, Drought Tolerant
	Leucanthemum x superbum / Shasta Daisy	1 gal			83	30" h x 24" w
	Miscanthus sinensis 'Variegatus' / Variegated Japanese Silver Grass	5 gal			127	6' h x 4' w
	Pennisetum alopecuroides 'Karlay Rose' / Karley Rose Fountain Grass	2 gal			242	30" h x 30" w, Drought Tolerant
	Pennisetum alopecuroides 'Moudry' / Black Flowering Fountain Grass	1 gal			97	3' h x 3' w
	Phlox subulata 'Emerald Pink' / Emerald Pink Creeping Phlox	1 gal			24	6" h x 36" w
	Physocarpus opulifolius 'SMNPOBLR' TM / Ginger Wine Ninebark	5 gal			213	5' h x 5' w
	Pinus mugo 'Mops' / Mops Mugo Pine	5 gal			49	5' h x 5' w
	Rhamnus frangula 'Fine Line' / Fine Line Buckthorn	5 gal			377	7' h x 3' w, Drought Tolerant
	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal			224	18" h x 6' w, Drought Tolerant
	Salvia nemorosa 'East Friesland' / East Friesland Perennial Sage	2 gal			85	18" h x 2' w, Drought Tolerant
	Spiraea japonica 'Neon Flash' / Neon Flash Spirea	2 gal			34	3' h x 3' w

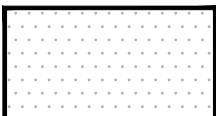
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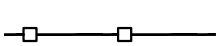
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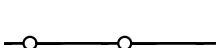
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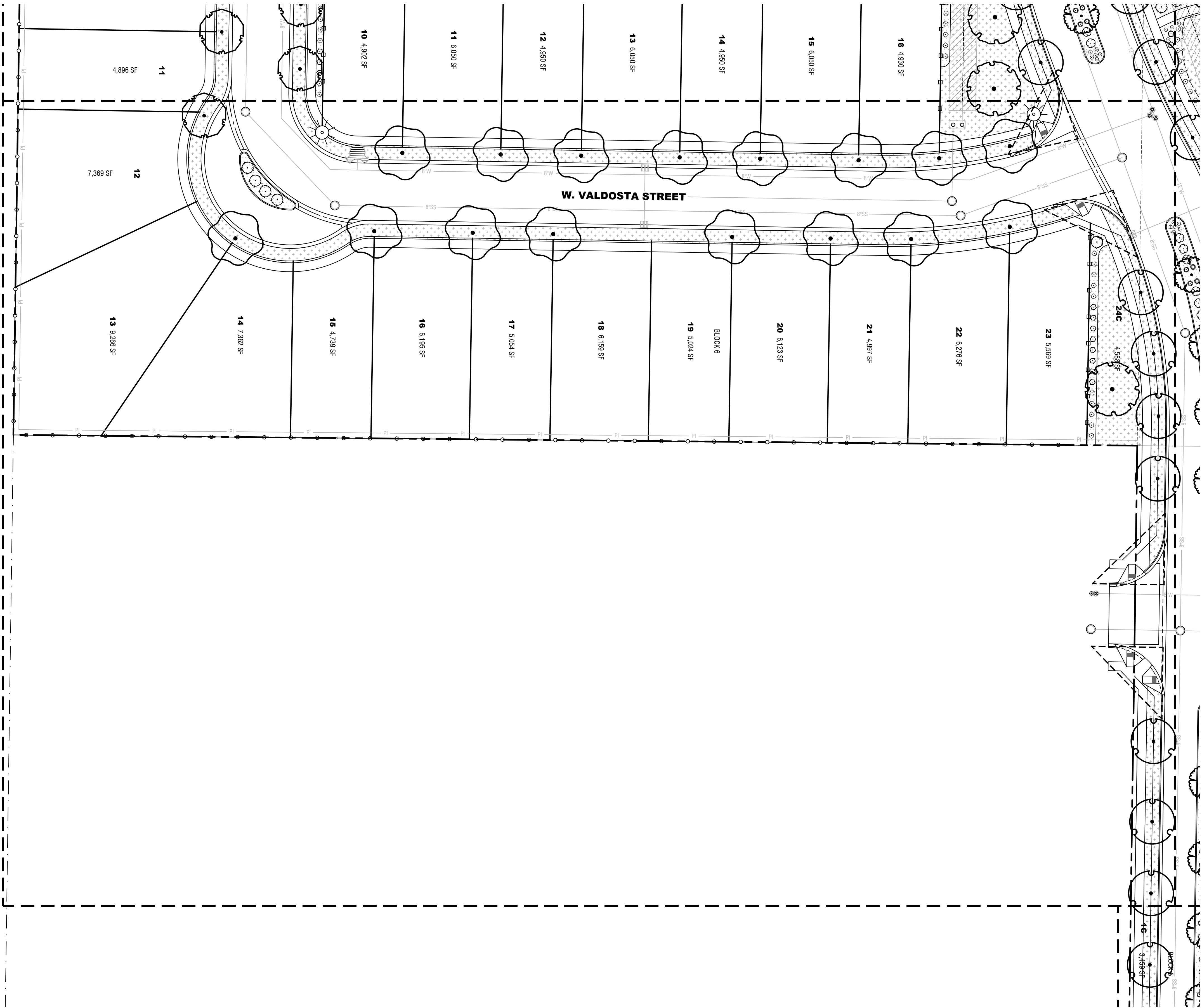
PLANTER BED AREAS - LANDSCAPE MULCH PER LANDSCAPE NOTES




4' OPEN FENCE

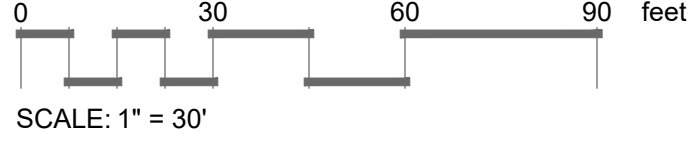


6' WOOD PRIVACY FENCE





NORTH



0 30 60 90 feet
SCALE: 1" = 30'



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404 S 8th St. #154
Boise, ID 83702
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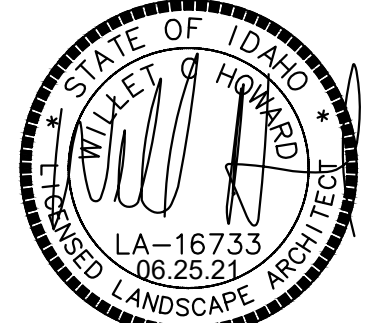
WILLET C HOWARD, PLA
OFFICE: (208) 345.0500 EMAIL:
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MILESTONE RANCH

STAR, ID

REVISIONS		
MRK	DATE	Description
△	**	**

JOB NO: 20-1956
DATE: 06.25.2021
DRAWN BY: DW
CHECKED BY: WH

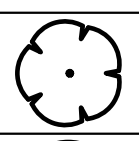
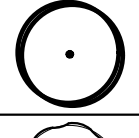
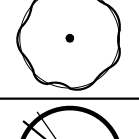
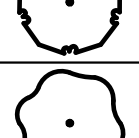
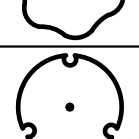
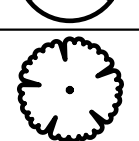
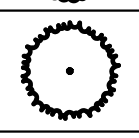
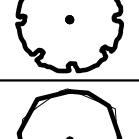
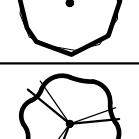
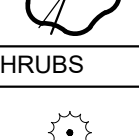
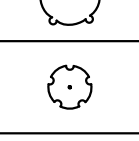
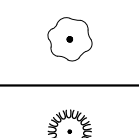
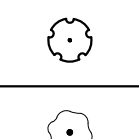
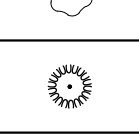
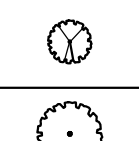
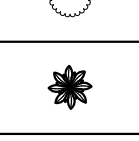
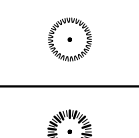
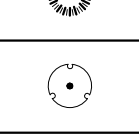
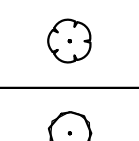
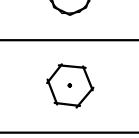
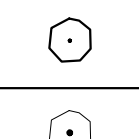
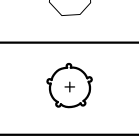


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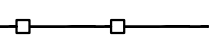
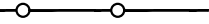
LANDSCAPE
PLAN - AREA 8

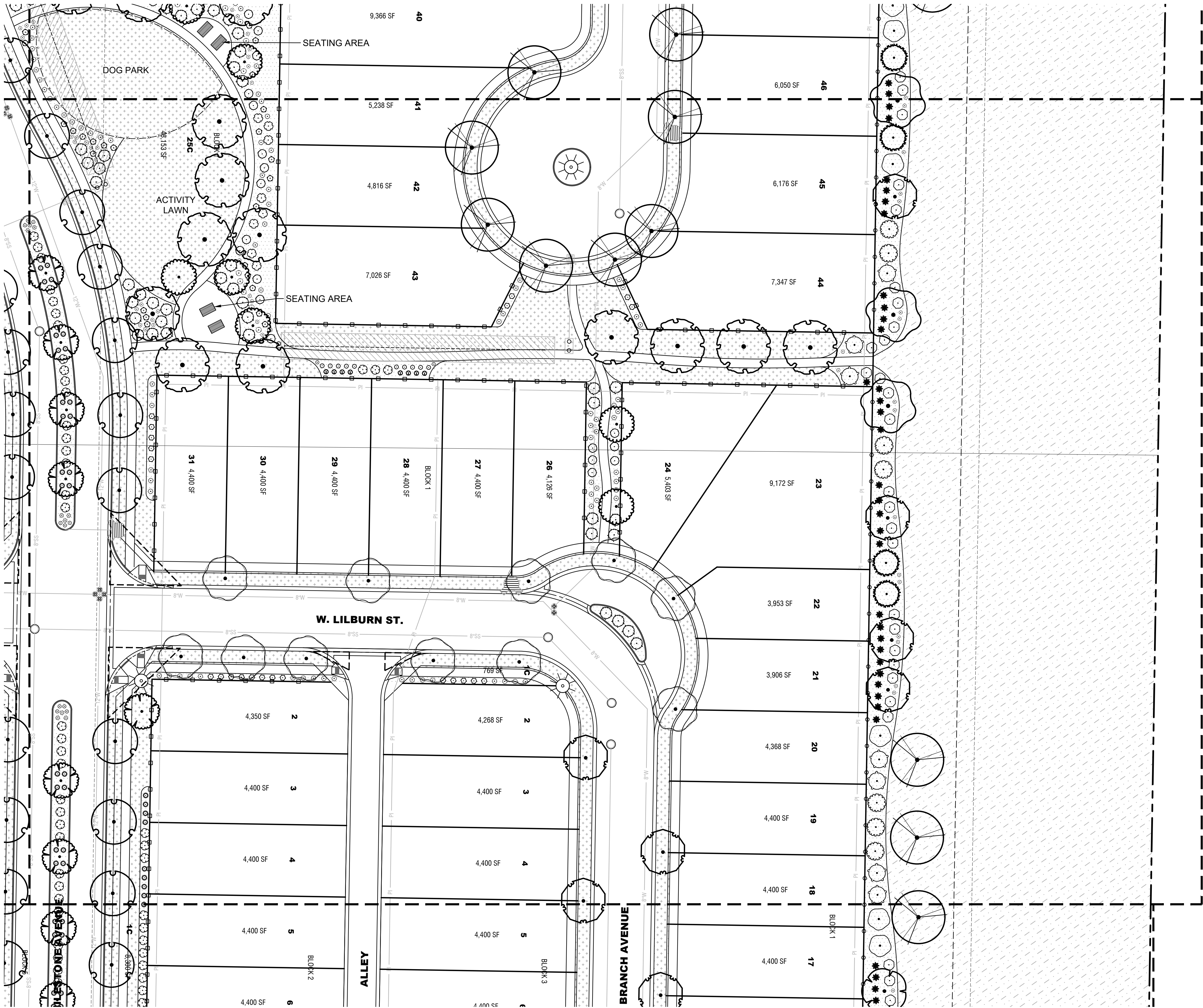
SHEET NUMBER

L108

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PLANT SCHEDULE						
TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS
	Acer platanoides 'Crimson King' / Crimson King Norway Maple	B&B	2"		14	35' H X 25' W, Class II
	Acer truncatum 'Crimson Sunset' / Crimson Sunset Maple	B&B	2"		40	35' h x 25' w, Class II
	Celtis occidentalis / Common Hackberry	B&B	2"		49	40' h x 30' w, CLASS II
	Cladrastis kentuckea 'Perkins Pink' / Perkins Pink Yellowwood	B&B	2"		75	35' h x 30' w, Class II
	Fraxinus pennsylvanica 'Patmore' / 'Patmore' Green Ash	B&B	2"		69	40' h x 20' w Class II
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B&B	2"		59	50' h x 30' w Class II
	Liriodendron tulipifera 'Emerald City' TM / Emerald City Tulip Tree	B&B	2"		64	50' h x 25' w CLASS II
	Malus x 'Spring Snow' / Spring Snow Crabapple	B&B	2"		60	25' h x 20' w, CLASS I
	Picea pungens 'Fat Albert' / Fat Albert Colorado Spruce	B&B		6'-8' H	25	30' h x 15' w
	Prunus virginiana 'Canada Red' / Canada Red Cherry	B&B	2"		14	25' h x 20' w Class II
	Pyrus calleryana 'Cleveland Select' / Cleveland Select Pear	B&B	2"		14	40' h x 17' w, Class I
	Quercus frainetto 'Schmidt' / Forest Green Oak	B&B	2"		43	50' h x 30' w, Class II
	Tilia americana 'Redmond' / Redmond American Linden	B&B	2"		79	50' h x 30' w Class II
	Tilia cordata 'Corzam' / Corinthian Littleleaf Linden	B&B	2"		16	45' h x 15' w CLASS II
SHRUBS	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY	REMARKS
	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	2 gal			537	5' h x 3' w
	Cotinus coggygia 'Grace' / Grace Smoke Bush	5 gal			28	15' h x 12' w
	Forsythia x 'Meadowlark' / Meadowlark Forsythia	5 gal			52	8' h x 10' w
	Forsythia x intermedia 'Mindor' TM / Show Off Forsythia	5 gal			50	6' h x 5' w
	Gaillardia x grandiflora 'Arizona Sun' / Arizona Sun Blanketflower	1 gal			74	18" h x 24" w
	Helictotrichon sempervirens / Blue Oat Grass	1 gal			228	3' h x 3' w
	Ilex crenata 'Sky Pencil' / Sky Pencil Japanese Holly	5 gal			250	6' h x 30" w
	Juniperus chinensis 'Hetzi Glauca' / Hetzi Blue Juniper	5 gal			43	8' h x 10' w
	Juniperus horizontalis 'Wiltonii' / Blue Rug Juniper	5 gal			112	6" h x 7' w
	Lavandula angustiflora 'Hidcote Blue' / Hidcote Blue Lavender	2 gal			59	30" h x 30" w, Drought Tolerant
	Leucanthemum x superbum / Shasta Daisy	1 gal			83	30" h x 24" w
	Miscanthus sinensis 'Variegatus' / Variegated Japanese Silver Grass	5 gal			127	6' h x 4' w
	Pennisetum alopecuroides 'Karlay Rose' / Karley Rose Fountain Grass	2 gal			242	30" h x 30" w, Drought Tolerant
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	Phlox subulata 'Emerald Pink' / Emerald Pink Creeping Phlox	1 gal			24	6" h x 36" w
	Physocarpus opulifolius 'SMNPOBLR' TM / Ginger Wine Ninebark	5 gal			213	5' h x 5' w
	Pinus mugo 'Mops' / Mops Mugo Pine	5 gal			49	5' h x 5' w
	Rhamnus frangula 'Fine Line' / Fine Line Buckthorn	5 gal			377	7' h x 3' w, Drought Tolerant
	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal			224	18" h x 6' w, Drought Tolerant
	Salvia nemorosa 'East Friesland' / East Friesland Perennial Sage	2 gal			85	18" h x 2' w, Drought Tolerant
	Spiraea japonica 'Neon Flash' / Neon Flash Spirea	2 gal			34	3' h x 3' w

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	SOD LAWN
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	4' OPEN FENCE
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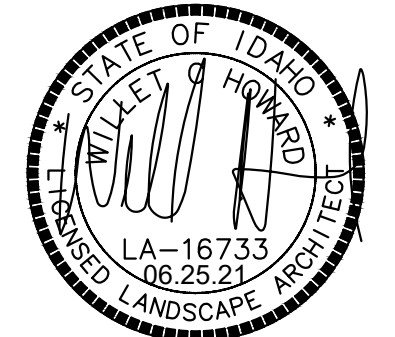
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MILESTONE RANCH

STAR, ID

REVISIONS		
MRK	DATE	Description
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JOB NO:	20-1956
DATE:	06.25.2021
DRAWN BY:	DW
CHECKED BY:	WH

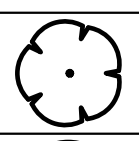
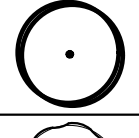
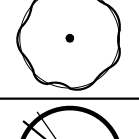
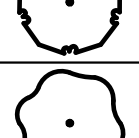
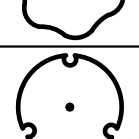
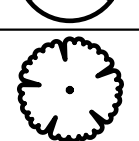
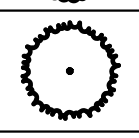
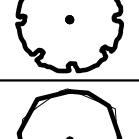
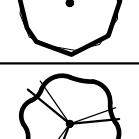
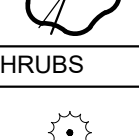
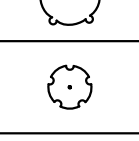
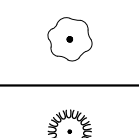
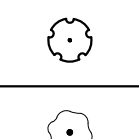
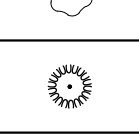
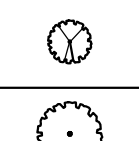
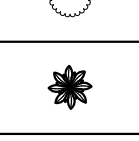
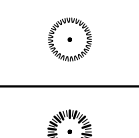
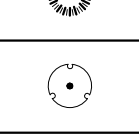
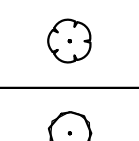
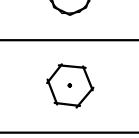
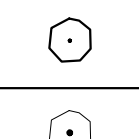
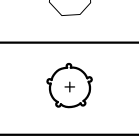



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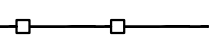
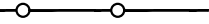
LANDSCAPE
PLAN - AREA 9

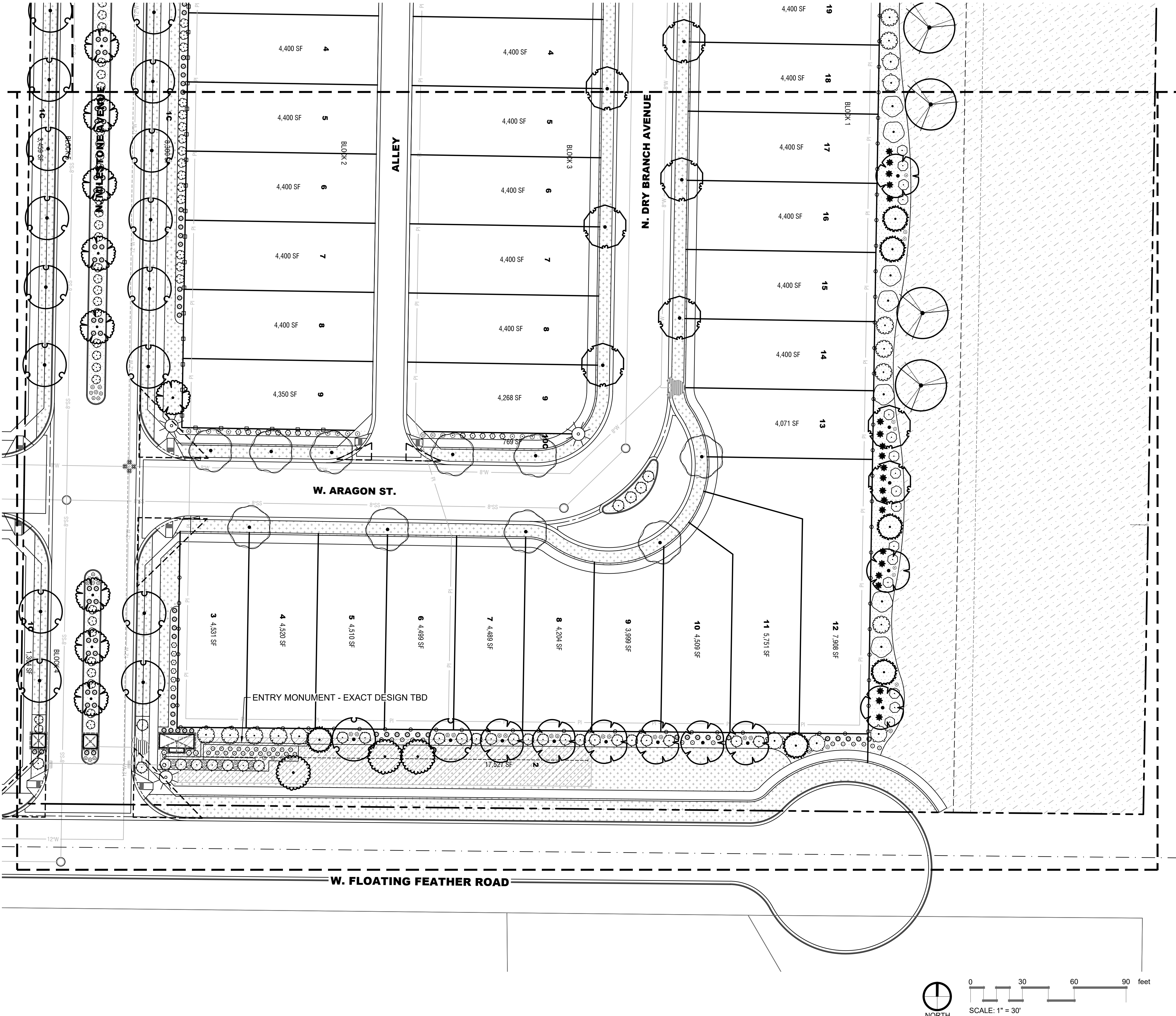
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L109

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PLANT SCHEDULE						
TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS
	Acer platanoides 'Crimson King' / Crimson King Norway Maple	B&B	2"		14	35' H X 25' W, Class II
	Acer truncatum 'Crimson Sunset' / Crimson Sunset Maple	B&B	2"		40	35' h x 25' w, Class II
	Celtis occidentalis / Common Hackberry	B&B	2"		49	40' h x 30' w, CLASS II
	Cladrastis kentuckea 'Perkins Pink' / Perkins Pink Yellowwood	B&B	2"		75	35' h x 30' w, Class II
	Fraxinus pennsylvanica 'Patmore' / 'Patmore' Green Ash	B&B	2"		69	40' h x 20' w Class II
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B&B	2"		59	50' h x 30' w Class II
	Liriodendron tulipifera 'Emerald City' TM / Emerald City Tulip Tree	B&B	2"		64	50' h x 25' w CLASS II
	Malus x 'Spring Snow' / Spring Snow Crabapple	B&B	2"		60	25' h x 20' w, CLASS I
	Picea pungens 'Fat Albert' / Fat Albert Colorado Spruce	B&B		6'-8' H	25	30' h x 15' w
	Prunus virginiana 'Canada Red' / Canada Red Cherry	B&B	2"		14	25' h x 20' w Class II
	Pyrus calleryana 'Cleveland Select' / Cleveland Select Pear	B&B	2"		14	40' h x 17' w, Class I
	Quercus frainetto 'Schmidt' / Forest Green Oak	B&B	2"		43	50' h x 30' w, Class II
	Tilia americana 'Redmond' / Redmond American Linden	B&B	2"		79	50' h x 30' w Class II
	Tilia cordata 'Corzam' / Corinthian Littleleaf Linden	B&B	2"		16	45' h x 15' w CLASS II
SHRUBS	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY	REMARKS
	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	2 gal			537	5' h x 3' w
	Cotinus coggygia 'Grace' / Grace Smoke Bush	5 gal			28	15' h x 12' w
	Forsythia x 'Meadowlark' / Meadowlark Forsythia	5 gal			52	8' h x 10' w
	Forsythia x intermedia 'Mindor' TM / Show Off Forsythia	5 gal			50	6' h x 5' w
	Gaillardia x grandiflora 'Arizona Sun' / Arizona Sun Blanketflower	1 gal			74	18" h x 24" w
	Helictotrichon sempervirens / Blue Oat Grass	1 gal			228	3' h x 3' w
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	Leucanthemum x superbum / Shasta Daisy	1 gal			83	30" h x 24" w
	Miscanthus sinensis 'Variegatus' / Variegated Japanese Silver Grass	5 gal			127	6' h x 4' w
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	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal			224	18" h x 6' w, Drought Tolerant
	Salvia nemorosa 'East Friesland' / East Friesland Perennial Sage	2 gal			85	18" X 2' w, Drought Tolerant
	Spiraea japonica 'Neon Flash' / Neon Flash Spirea	2 gal			34	3' h x 3' w

LANDSCAPE MATERIALS LEGEND:	
	SOD LAWN
	NATIVE SEED MIX WITH SAGEBRUSH & WILDFLOWERS - SEED IN DISTURBED AREAS
	PLANTER BED AREAS - LANDSCAPE MULCH PER LANDSCAPE NOTES
	4' OPEN FENCE
	6' WOOD PRIVACY FENCE





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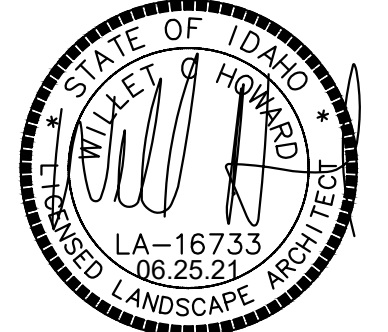
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MILESTONE RANCH

STAR, ID

REVISIONS		
MRK	DATE	Description
△	**	**

JOB NO:	20-1956
DATE:	06.25.2021
DRAWN BY:	DW
CHECKED BY:	WH

DRAWING TITLE

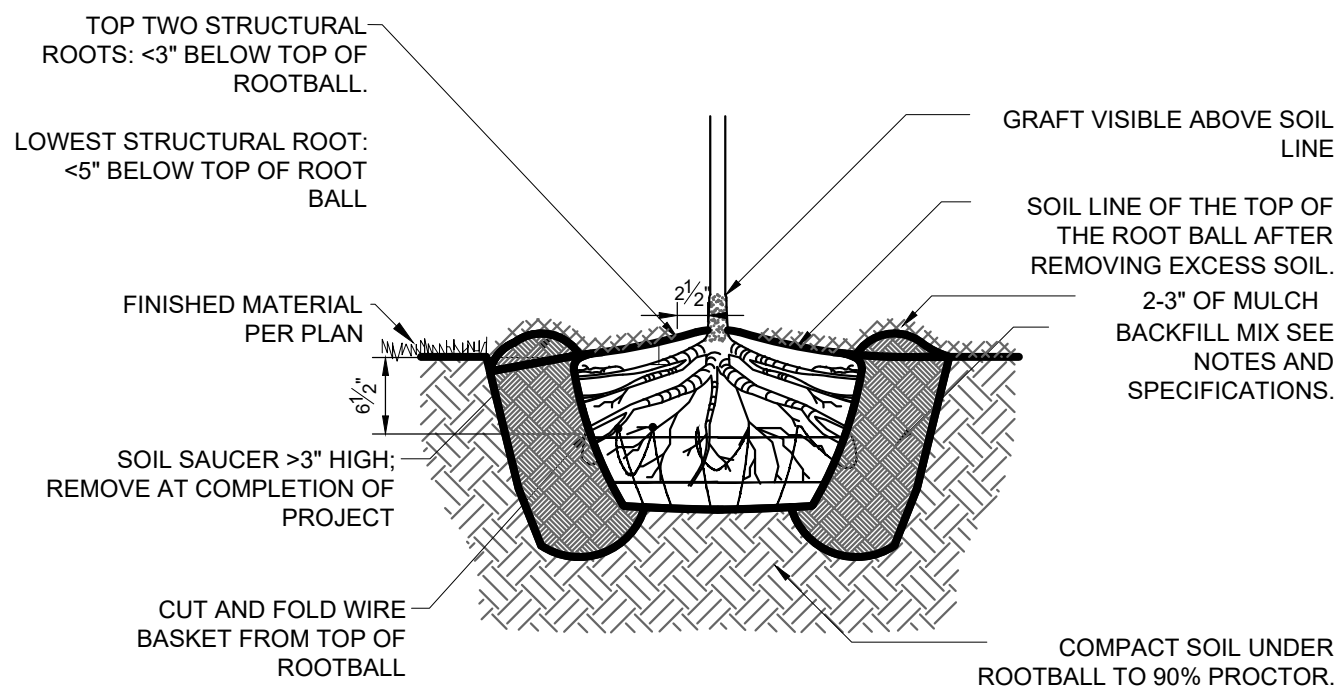
LANDSCAPE
PLAN - AREA 10

SHEET NUMBER

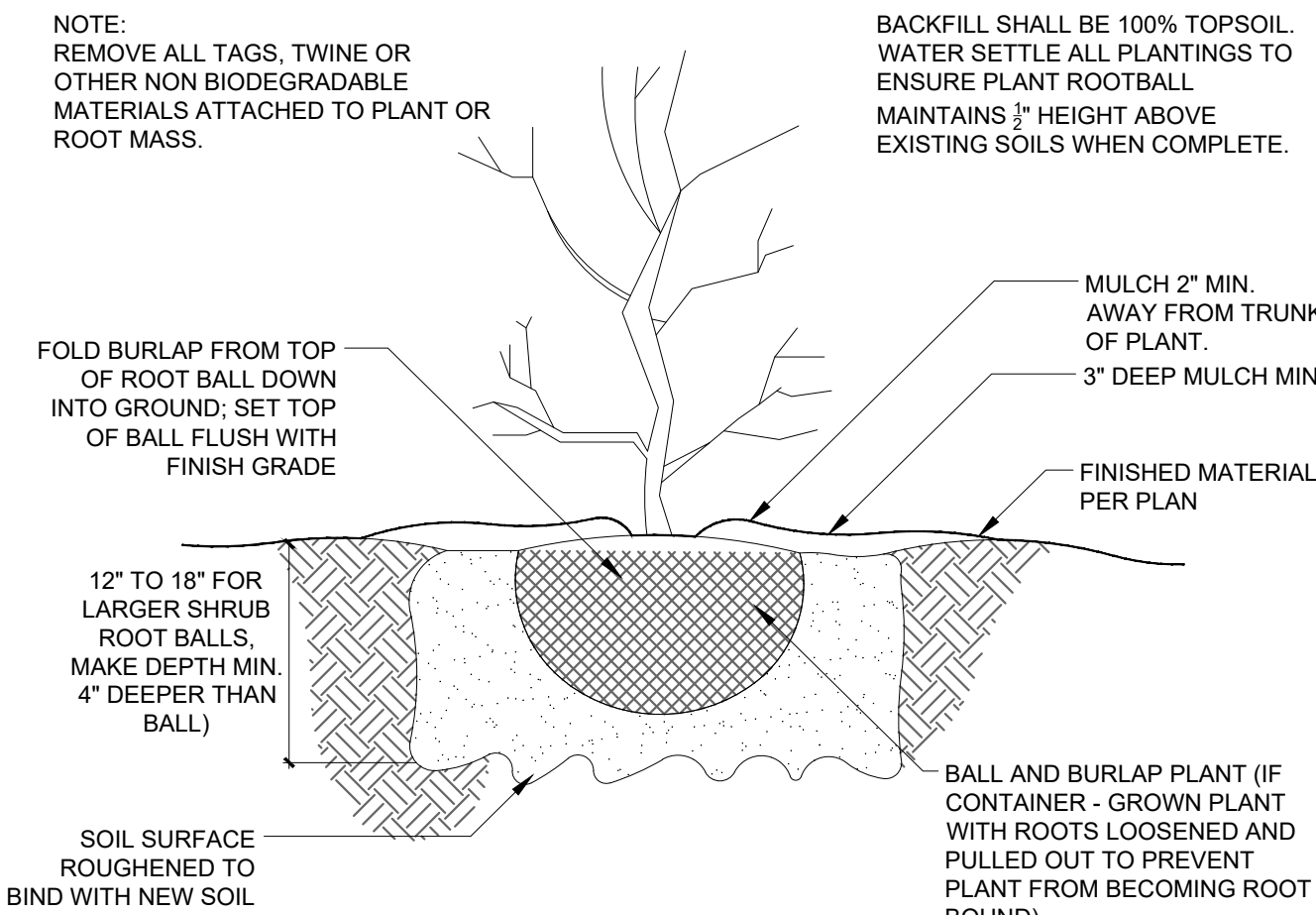
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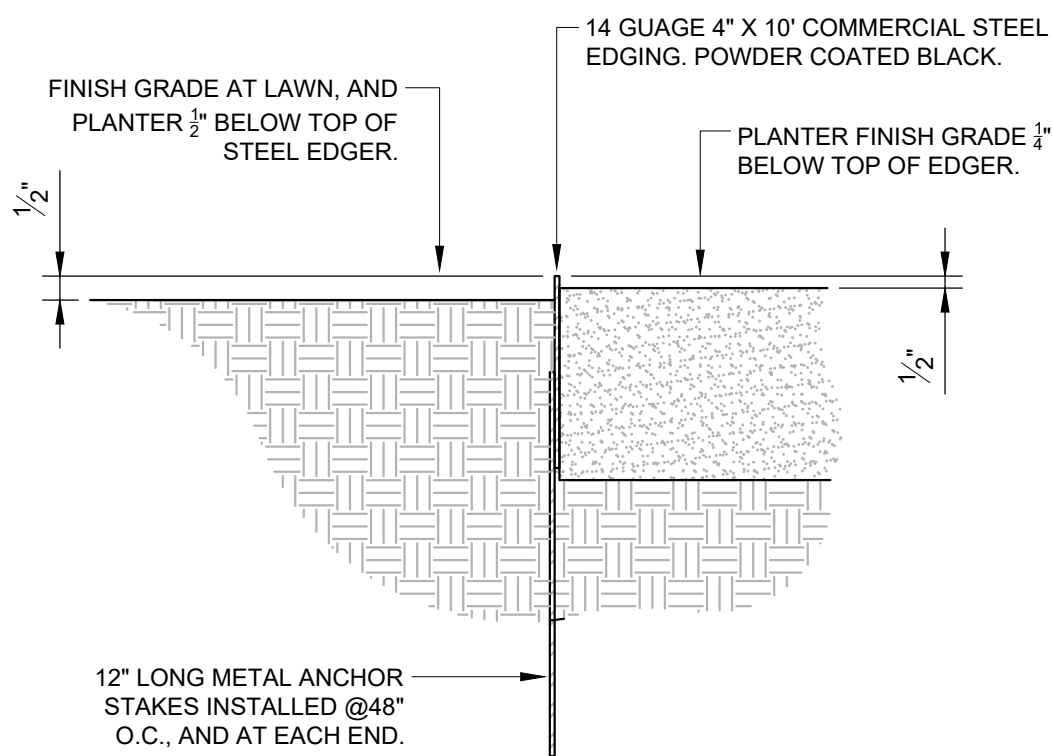
- NOTES:
- DO NOT DAMAGE OR CUT LEADER
 - DO NOT DISTURB ROOT OR DAMAGE ROOT BALL WHEN INSTALLING TREE OR TREE STAKES.
 - TREE STAKING SHALL BE AT THE DISCRETION OF CONTRACTOR. HOWEVER ANY TREES DISTURBED FROM PLUMB DURING THE PLANT WARRANTY PERIOD WILL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.
 - WATER PLANTS THOROUGHLY IMMEDIATELY AFTER INSTALLATION.
 - REMOVE ALL BURLAP, TWINE, ROPE, OR MATERIAL FROM THE TOP 1/3 OF THE ROOTBALL.
 - 4" DIAMETER PLANTER BED/MULCH RING AROUND THE TRUNK OF THE TREE. 3" OF MULCH MIN. DO NOT PLACE MULCH WITHIN 2" OF TRUNK OF TREE.



1 BALL AND BURLAP TREE PLANTING
3/4" = 1'-0"



2 SHRUB PLANTING
1" = 1'-0"



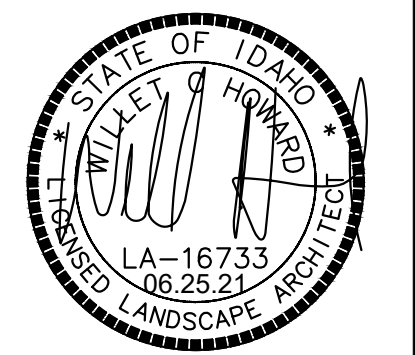
3 STEEL LANDSCAPE EDGING
3" = 1'-0"

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DATE: 06.25.2021
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LANDSCAPE DETAILS

SHEET NUMBER

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STACK ROCK GROUP - CITY REVIEW SET



Your Safety • Your Mobility Your Economic Opportunity

**Staff Technical Report
6/16/2021**

Development: Hoot Nanney Development

Lead Agency: City of Star
Shawn Nickel
Snickel@staridaho.org
208-286-7247

Location: Northwest corner of Floating Feather Road and SH-16
SH-16 MP 101.2

Applicant: Sabrina Durtschi
Toll Brothers
3103 W Sheryl Drive, Suite 100
Meridian, ID 83642
sdurtschi@tollbrothers.com
Phone: 208-250-6161

Consultant: Kittelson & Associates
Lauren Nuxoll
101 S. Capitol Blvd, Suite 600
Boise, ID 83702
lnuxoll@kittelson.com
Phone: 208-338-2683

Staff Contact: Erika Bowen
Idaho Transportation Department
Development Services Technical Engineer
Erika.Bowen@itd.idaho.gov
Phone: 208-265-4312 ext. #7

Proportionate Share Contribution

ITD District 3 has issued *Memo 39-Development Proportionate Share Contribution (Updated 11-13-2020)* as a means to request equitable contribution from developers to improve public facilities needed to serve new growth and development.

ITD does not have jurisdictional authority to require proportionate share contribution from the developer because they are not asking for a direct access approach. ITD and the city of Star have entered into an Intergovernmental Agreement for the city to collect proportionate share contributions on the department's behalf to be used towards future ITIP projects on the State highway system jointly selected by the two agencies.

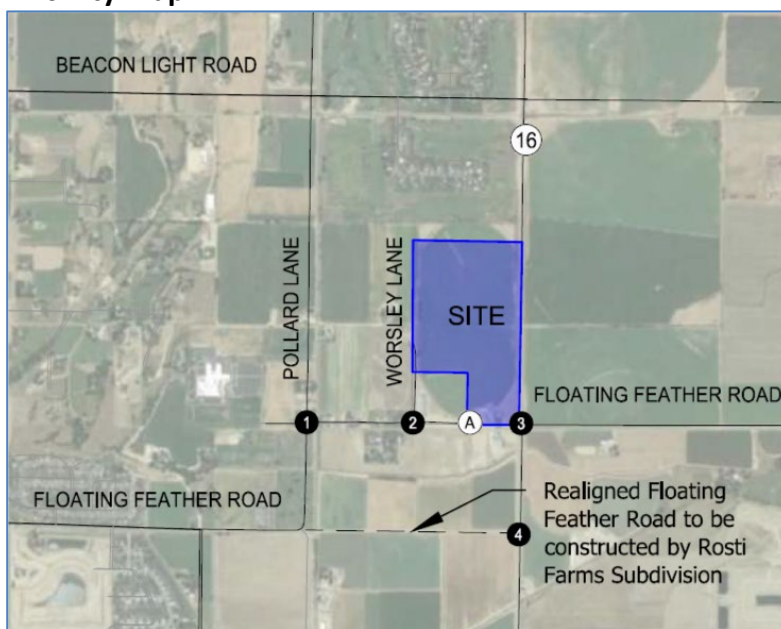
Intersection	Proportionate Share Contribution
SH-16 Floating Feather Road	\$39,222
TOTAL	\$39,222
<i>Approximate per household unit</i>	<i>\$141</i>

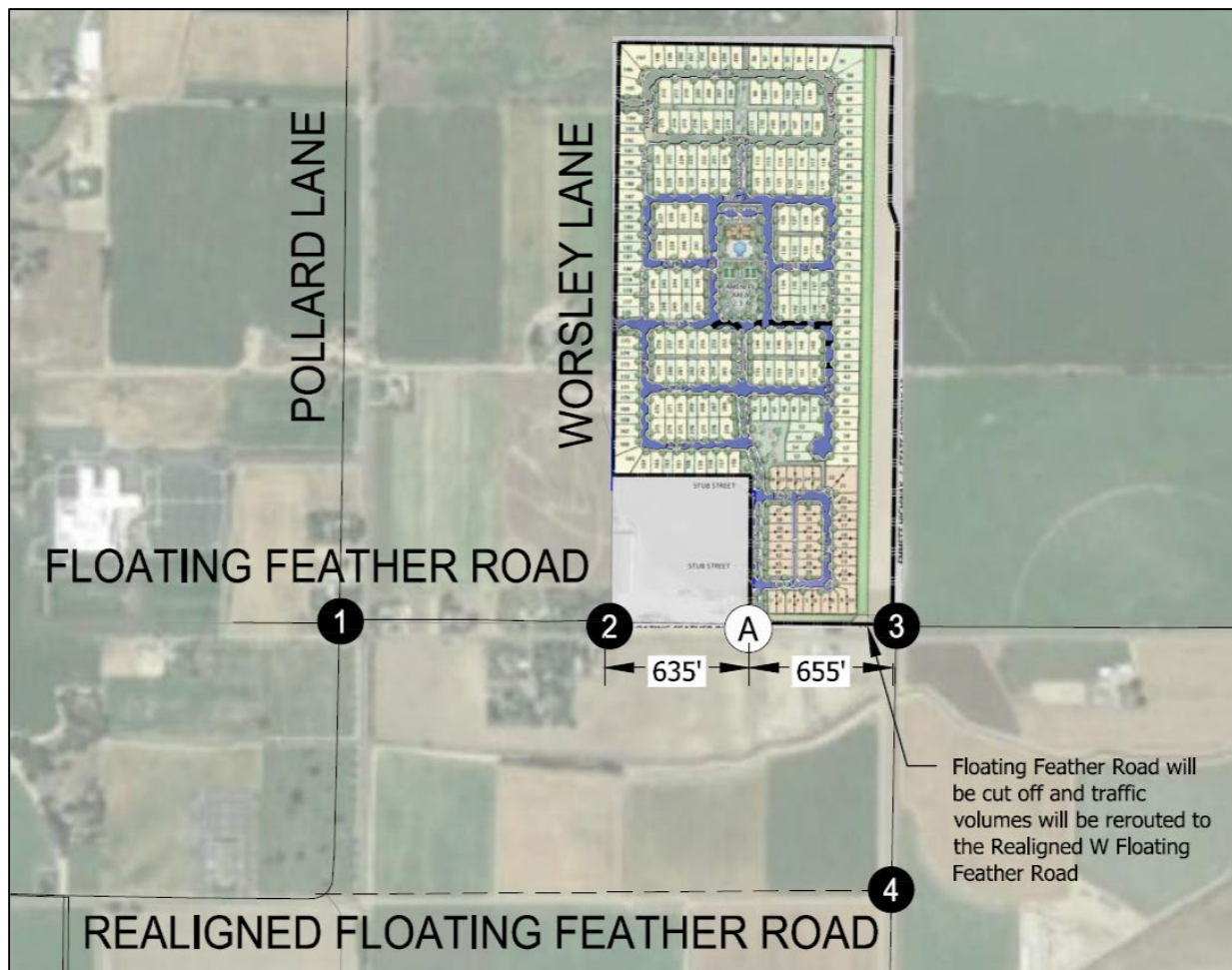
Traffic Impact Study Overview

1. Proposed Development

The proposed Hoot Nanney Development is estimated to contain 279 detached senior living houses. Anticipated buildout year is 2026.

2. Vicinity Map





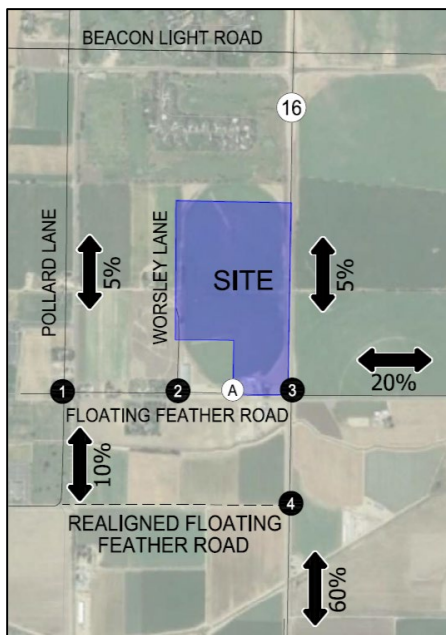
3. Trip Generation:

Table 10. Hoot Nanney Development Estimated Trip Generation

Land Use	ITE Code	Units	Daily Trips	Weekday AM Peak Hour			Weekday PM Peak Hour		
				Total	In	Out	Total	In	Out
Senior Adult Housing - Detached	251	279	1,388	89	29	60	107	65	42

Notes: Fitted curve equation used based on data provided by ITE.

4. Trip Distribution



5. Traffic Impact Study Recommendations

Dated: April 2021

Kittelson & Associates prepared a traffic impact analysis for the proposed Hoot Nanney Development. Below is an executive summary of the findings as presented by Kittelson & Associates. The following executive summary is not the opinion of ITD staff. ITD staff has reviewed the submitted traffic impact study for consistency with ITD policies and practices and may have additional and/or varied requirements beyond what is noted in the summary.

Existing Conditions

- All study intersections were found to operate at acceptably during the existing weekday AM and PM peak hours, with the exception of:
 - **Existing Floating Feather Road/SH 16 (PM Peak Hour)**
 - The westbound approach is at LOS F and overcapacity. This is due to high northbound and southbound traffic volumes on SH 16, which results in very few gaps in traffic for the minor street unsignalized left-turn and through movements on Floating Feather Road.
 - The intersection will operate within ACHD and ITD thresholds with the existing Floating Feather Road westbound approach restricted to right-in/right-out/left-in.
 - ACHD and ITD's planning documents show that this section of Floating Feather Road will be realigned in the future so that Floating Feather Road is continuous between Palmer Lane (to the east of SH 16) and Pollard Lane (to the west of SH 16). The timing of that realignment on the east side is unknown. In addition, ITD has identified the realigning Floating Feather Road as an overpass of SH 16 in the future.
- All study roadway segments operate within the ACHD volume threshold under existing conditions.

Year 2026 Background Traffic Conditions

- Year 2026 background traffic volumes were forecast using a 4% compounded annual growth rate on SH 16 and an 8% compounded annual growth rate on all other roadways plus the addition of in-process traffic from the Rosti Farm Subdivision.
- The following assumption for transportation projects was included in the 2026 background traffic conditions due to planned improvements in the area from the in-process development.
 - The Rosti Farm development has been conditioned with building the Floating Feather Road realignment between Plummer Lane and SH 16, along with a right-in/right-out/left-in intersection at SH 16. Given the background traffic from the Rosti Farm development is included in background conditions, the Floating Feather Road realignment between Plummer Lane and SH 16 and right-in/right-out/left-in intersection at SH 16 was also included.
- Year 2026 background traffic analysis (without inclusion of site-generated traffic) found that all study intersections are expected to operate at acceptable operating standards during the weekday AM and PM peak hours, with the exception of:
 - **Existing Floating Feather Road/SH 16 (AM & PM Peak Hours)**
 - As under existing conditions, the minor street approaches operate at LOS F and overcapacity in the weekday p.m. peak hour.
 - The intersection will operate within ACHD and ITD thresholds with the existing Floating Feather Road restricted to right-in/right-out/left-in.
 - ACHD and ITD's planning documents show that this section of Floating Feather Road will be realigned in the future so that Floating Feather Road is continuous between Palmer Lane (to the east of SH 16) and Pollard Lane (to the west of SH 16). The timing of that realignment on the east side is unknown. In addition, ITD has identified the realigning Floating Feather Road as an overpass of SH 16 in the future.
- All study roadway segments operate within the ACHD volume threshold under year 2026 background traffic conditions.

Trip Generation and Distribution

- The proposed Hoot Nanney Development with 279 detached senior adult houses is estimated to generate a total of 1,388 daily net new trip ends, of these 89 are estimated to occur in the weekday a.m. peak hour (29 inbound / 60 outbound), and 107 are estimated to occur in the weekday p.m. peak hour (65 inbound / 42 outbound).
- Access to the Hoot Nanney Development is proposed via one full access on Floating Feather Road at the following location:
 - Site Access A / Floating Feather Road: unsignalized full access on Floating Feather Road approximately 660 feet west of SH 16.
- The study analyzed the following two scenarios for future traffic conditions:
 - Scenario 1: Assumes the existing Floating Feather Road remains connected to SH 16.

- Scenario 2: Assumes the west leg of the existing Floating Feather Road will be disconnected from SH 16. This is consistent with ITD's plan to disconnect the existing Floating Feather Road at SH 16 as the realignment of Floating Feather Road is constructed to the south.
-

Year 2026 Total Traffic Conditions

- Year 2026 total traffic conditions found that the site generated trips did not impact any additional intersections not previously identified in the background traffic conditions.
- All findings and mitigations required for intersections to meet operational standards outlined under background conditions remain consistent in the year 2026 total traffic conditions.
- All study roadway segments operate within the ACHD volume threshold under total conditions.

Site Access Evaluation

- No turn lanes are warranted at Floating Feather Road / Site Access A.
- The intersection sight distance evaluation identified that intersection sight distance can be achieved at all the site intersections.
- The site access meets ACHD requirements for access spacing.

RECOMMENDATIONS

Based on the report's analyses and evaluation findings, recommendations were developed accordingly for time scenario's conditions.

Year 2021 Existing Traffic Condition Mitigations (Without the Proposed Development)

The following mitigations are recommended to accommodate the year 2021 existing traffic volume to meet ACHD and ITD thresholds.

Existing Floating Feather Road / SH 16

- Existing Floating Feather Road restricted to right-in/right-out/left-in

Year 2026 Background Traffic Condition Mitigations (Without the Proposed Development)

No mitigations beyond those presented for existing conditions are recommended to accommodate the year 2026 background traffic volumes.

Year 2026 Total Traffic Conditions Mitigations (With the Hoot Nanney Development)

No mitigations beyond those presented for existing conditions are recommended to accommodate the year 2026 total traffic volumes. An alternative to restricting the existing Floating Feather Road intersection would be to terminate the connection to SH 16 on the west leg if the new Floating Feather Road realignment and intersection are completed. Based on the ACHD bicycle plan, Floating Feather Road is projected to be a Level 2 facility including shoulder bike lane, conventional bike lane, buffered bike lane. Therefore, as these roadways are built to ACHD standards, appropriate bike facilities should be considered.

All Site Accesses

With approval from ACHD, construct all accesses to the development with the following designations:

- All local streets within the development should be constructed with one travel lane in each direction.
- Site driveways with access to public streets should provide sufficient stacking distance for four vehicles (100 feet) to ensure acceptable operation and accommodate larger vehicles, including utility service and delivery vehicles.
- The site access along Floating Feather Road should match the existing grade or be higher at the intersection to ensure the best possible sight distance.
- All accesses and internal streets should be designed to provide adequate intersection site distance. Shrubbery and landscaping near the intersection and site access point should be maintained to ensure adequate sight distance is maintained.
- Site accesses are assumed to match the existing grade of the connected roadway at the intersection and back at least one car length. Significant changes to the approach grade could impact the sight distances.
- Shrubbery, weeds, and landscaping near the internal intersections and site access points should be maintained to ensure adequate sight distance.
- If widening occurs along any of the site access road, care should be taken to ensure adequate grades and intersection sight distance is maintained.

ITD Proportionate Share Contributions

1. SH-16 and Floating Feather Road

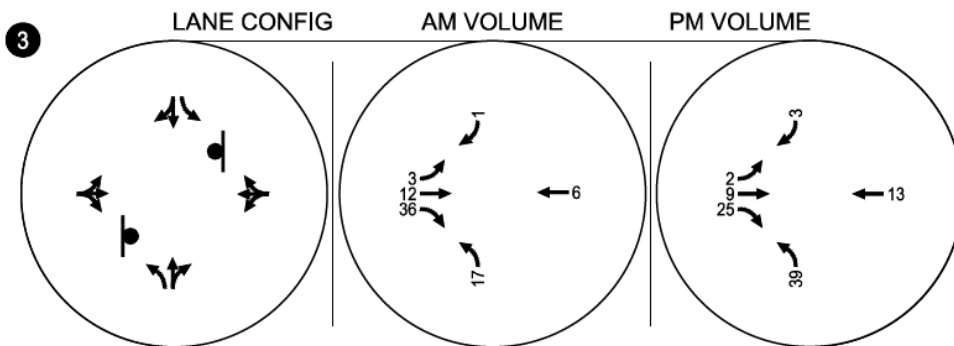
**All supporting documentation in Appendix A*

Per the TIS, the intersection of SH-16 and Floating Feather Road fails with LOS F for the westbound movements in the PM peak hours of the existing condition. The congestion and safety concerns significantly increase in 2026 background and total traffic conditions. The report recommends restricting Floating Feather Road to right-in/right-out/left-in.

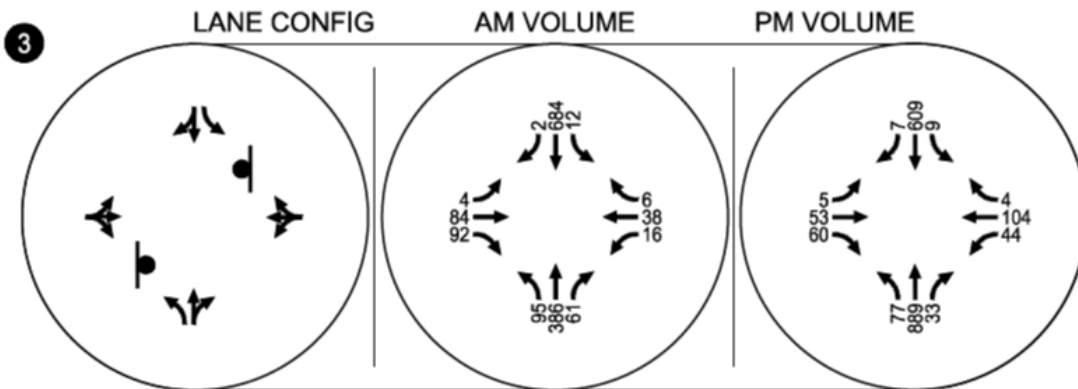
ITD has had discussions with ACHD regarding limiting Floating Feather Road / SH-16 to right-in, right-out, left-in. Due to additional development in the area, the road also meets warrants for dedicated northbound and southbound right turn lanes. As discussed at the D3 TIS Committee Review meeting on April 14, 2021, ITD shall start asking for proportionate share to restrict and improve this intersection moving forward. Staff estimates the design and construction costs for adding right turn lanes on SH-16, extending the existing left turn lanes and installing concrete traffic separator to be approximately \$793,963.

Proportionate share shall be based on the development's total site traffic at this intersection versus 2025 traffic volumes identified in the TIS

Total Site Traffic



Total 2026 Traffic



<i>Proportionate Share Calculations</i>		
<i>AM Site = 75</i>	<i>AM Total = 1,480</i>	<i>AM % = 5.07</i>
<i>PM Site = 91</i>	<i>PM Total = 1,894</i>	<i>PM % = 4.80</i>
<i>Average Proportionate Share Percentage</i>		<i>Avg % = 4.94</i>
<i>SH-16 / Floating Feather Cost Estimate</i>		<i>\$793,963</i>
<i>Proportionate Share Contribution</i>		<i>\$39,222</i>

Staff calculates the developer's proportionate share to be \$39,222 (4.94%) based on site trips versus total intersection trips at 2026 buildout.

**ITD Staff Recommendations are intended to assure that the proposed development will not place an undue burden on the existing State Highway system within the vicinity impacted by the proposed development.*

*** Recommendations included in ITD's Staff Technical Report along with any development conditions (see associated Permit Committee Agenda/Minutes) is only valid for the period of one year from the date of the TIS report. ITD reserves the right to request an updated TIS to reflect current traffic conditions if an approved encroachment application and/or proportionate share contribution are not obtained/provided within one year.*

6. Appendices

Appendix A SH-16 / Floating Feather Road Documentation

Appendix A

SH-16 / Floating Feather Road Documentation

Table 3. Year 2021 Existing Intersection Operations

No.	Intersection	Intersection Control	Lane Group	AM Peak Hour			PM Peak Hour		
				V/C	LOS	Delay	V/C	LOS	Delay
1	Floating Feather Road / Pollard Lane	TWSC	WBLR	0.19	B	12.2	0.10	A	9.7
			SBL	0.08	A	7.9	0.02	A	7.4
2	Floating Feather Road / Worsley Lane	TWSC	EBL	0.01	A	0.0	0.01	A	0.0
			SBLR	0.01	A	0.0	0.01	A	0.0
3	Floating Feather Road / SH 16	TWSC	EBLTR	0.63	E	48.6	0.54	E	42.6
			WBLTR	0.45	F	58.4	1.02	F	>100.0
			NBL	0.08	A	9.4	0.03	A	8.5
			SBL	0.01	A	8.2	0.01	A	9.3

V/C ratio is defined as vehicle-to-capacity ratio, which calculates the number of vehicles divided by the capacity of the roadway/intersection during the peak 15 minutes of the peak hour. LOS stand for Level of Service. Delay is reported in seconds per vehicle. Cells in the table above that are **bolded**, *italicized*, and **highlighted** indicate an intersection and/or lane group operating below the jurisdictional standards.

SH 16 / Floating Feather Road

As shown in Table 3, the westbound approach at the Floating Feather Road / SH 16 intersection exceeds desired operational thresholds in 2021 existing conditions during the weekday p.m. peak hour. The westbound approach has a v/c ratio of 1.02 during the p.m. peak hour (exceeding ITD' desired threshold of 0.90 and ACHD's standard of 1.0). An evaluation of traffic signal warrants at the intersection was completed.

The intersection meets the 8-hour, 4-hour, and peak hour traffic signal volume warrants; however, ITD plans to keep SH 16 as a grade separated facility without signalized intersections. The current long-term plan from ITD and ACHD is to have Floating Feather Road overpass SH 16. To improve traffic operations until future grade separated facilities are installed, the intersection can be mitigated by restricting the minor street movements to right-in/right-out/left-in. Restricting traffic movements at Floating Feather Road will mitigate that location although it should be noted that traffic from the restricted movements on Floating Feather Road will reroute to Beacon Light Road and SH-44. Traffic operations for this mitigated condition is shown in Table 4. *Appendix D contains the existing traffic conditions signal warrant analysis.*

Table 4. Floating Feather Rd / SH 16 Intersection Mitigated Operations – Year 2021 Existing Conditions

No.	Intersection	Intersection Control	Lane Group	AM Peak Hour			PM Peak Hour		
				V/C	LOS	Delay	V/C	LOS	Delay
3	Floating Feather Road / SH 16	TWSC (RIROLI)	NBL	0.08	A	9.4	0.03	A	8.5
			EBR	0.12	B	14.4	0.08	B	11.9
			WBR	0.00	B	10.5	0.01	B	14
			SBL	0.01	A	8.2	0.01	A	9.3

Notes: ¹ V/C Ratio is defined as vehicle-to-capacity ratio which calculates the number of vehicles divided by the capacity of the roadway/intersection during the peak 15 minutes of the peak hour; ² LOS = Level of Service; ³ Delay is reported in seconds per vehicle; and **bold**, *italics* and **highlighted** indicate an intersection and/or lane group operating below the jurisdictional standards.

Table 7. Year 2026 Background Intersection Operations - Weekday AM and PM Peak Hour

No.	Intersection	Intersection Control	Lane Group	AM Peak Hour			PM Peak Hour		
				V/C	LOS	Delay	V/C	LOS	Delay
1	Floating Feather Road / Pollard Lane	TWSC	WBLR	0.26	B	12.9	0.17	B	11.2
			SBL	0.06	A	8.0	0.02	A	7.6
2	Floating Feather Road / Worsley Lane	TWSC	EBL	0.01	A	0.0	0.01	A	0.0
			SBLR	0.01	A	0.0	0.01	A	0.0
3	Floating Feather Road / SH 16	TWSC	EBLTR	0.86	F	91.3	>1.50	F	>100.0
			WBLTR	0.81	F	>100.0	>1.50	F	>100.0
			NBL	0.10	A	9.7	0.04	A	9.0
			SBL	0.01	A	8.4	0.01	A	10.1
4	Realigned Floating Feather Road / SH 16	TWSC (RIROLI)	NBL	0.15	B	10.2	0.27	B	10.7
			EBR	0.53	C	24.5	0.37	C	18.0

V/C ratio is defined as vehicle-to-capacity ratio, which calculates the number of vehicles divided by the capacity of the roadway/intersection during the peak 15 minutes of the peak hour. LOS stand for Level of Service. Delay is reported in seconds per vehicle. Cells in the table above that are **bolded**, *italicized*, and **highlighted** indicate an intersection and/or lane group operating below the jurisdictional standards.

SH 16 / Existing Floating Feather Road

The minor street movements at the SH 16 / Existing Floating Feather Road intersection exceed ACHD and ITD's desired operational thresholds under background conditions. During the weekday p.m. peak hours, the eastbound and westbound approaches of the intersection are operating at LOS F and over capacity. This is due to high northbound and southbound traffic volumes on SH 16, which results in very few gaps in traffic for the minor street unsignalized left-turn and through movements on Floating Feather Road.

The intersection already meets the 8-hour, 4-hour, and peak hour traffic signal volume warrants in existing conditions. However, ITD plans to keep SH 16 as a grade separated facility without signalized intersections. The current long-term plan from ITD and ACHD is to have Floating Feather Road overpass SH 16. As under existing conditions, the intersection was analyzed restricted to a right-in/right-out/left-in. Table 8 shows how the intersection would operate under 2026 background conditions as a RIROLI.

Table 8. Floating Feather Rd / SH 16 Intersection Mitigated Operations – Year 2026 Background Conditions

No.	Intersection	Intersection Control	Lane Group	Weekday AM Peak Hour			Weekday PM Peak Hour		
				V/C	LOS	Delay	V/C	LOS	Delay
3	SH 16 / Floating Feather Rd	TWSC (RIROLI)	NBL	0.10	A	9.7	0.04	A	9.0
			EBR	0.15	C	15.4	0.07	B	13.2
			WBR	0.01	B	11.0	0.01	C	16.5
			SBL	0.01	A	8.4	0.01	B	10.1

Table 11. Year 2026 Scenario 1 Total Traffic Intersection Operations - Weekday AM and PM Peak Hour

No.	Intersection	Intersection Control	Lane Group	AM Peak Hour			PM Peak Hour		
				V/C	LOS	Delay	V/C	LOS	Delay
1	Floating Feather Road / Pollard Lane	TWSC	WBLR	0.28	B	13.3	0.18	B	11.4
			SBL	0.06	A	8.0	0.02	A	7.6
2	Floating Feather Road / Worsley Lane	TWSC	EBL	0.01	A	0.0	0.01	A	0.0
			SBLR	0.01	A	0.0	0.01	A	0.0
3	Floating Feather Road / SH 16	TWSC	EBLTR	1.19	F	>100.0	>1.50	F	>100.0
			WBLTR	>1.50	F	>100.0	>1.50	F	>100.0
			NBL	0.12	A	9.8	0.08	A	9.2
			SBL	0.01	A	8.4	0.01	A	10.1
4	Realigned Floating Feather Road / SH 16	TWSC (RIROLI)	NBL	0.15	B	10.4	0.28	B	10.9
			EBR	0.56	D	26.8	0.38	C	18.8
A	Floating Feather Road / Site Access A	TWSC	EBL	0.01	A	7.5	0.01	A	7.7
			SBLR	0.09	B	10.6	0.07	B	10.4

V/C ratio is defined as vehicle-to-capacity ratio, which calculates the number of vehicles divided by the capacity of the roadway/intersection during the peak 15 minutes of the peak hour. LOS stand for Level of Service. Delay is reported in seconds per vehicle. Cells in the table above that are **bolded**, *italicized*, and **highlighted** indicate an intersection and/or lane group operating below the jurisdictional standards.

Table 7. SH 16 / Existing Floating Feather Road Intersection Mitigated Operations – Year 2026 Scenario 1 Total Traffic Conditions

No.	Intersection	Intersection Control	Lane Group	Weekday AM Peak Hour			Weekday PM Peak Hour		
				V/C	LOS	Delay	V/C	LOS	Delay
3	SH 16 / Existing Floating Feather Rd	TWSC (RIROLI)	NBL	0.12	A	9.8	0.09	A	9.2
			EBR	0.25	C	16.7	0.13	B	13.7
			WBR	0.01	B	11.0	0.01	C	16.5
			SBL	0.01	A	8.4	0.01	B	10.1

Intersection Widening - Conceptual Cost Estimate

Estimated By: **E. Bowen** Date: **4/16/2021**
 Checked By: Date:

Location: **Intersection of SH-16 and Floating Feather Road**

Scope: **Design and construction costs to install northbound and southbound right turn lanes, extend the existing northbound and southbound left turn lanes to current standards and include 300ft of concrete traffic separator to limit the intersection to RIRO-LI**

Item Description	Quantity	Unit Price	Cost	Source
SECTION 1				
201-010A CLEARING & GRUBBING	0.92 ACRE	\$ 6,833.00	\$ 6,292.93	KN 18872
203-015A REM OF BITUMINOUS SURF	1093.33 SY	\$ 9.67	\$ 10,572.53	KN 18872
203-130A REMOVAL OF PAV MARKINGS	7380.00 FT	\$ 1.00	\$ 7,380.00	KN 18852
205-005A EXCAVATION	3644.44 CY	\$ 15.25	\$ 55,577.78	KN 18872
301-005A GRANULAR SUBBASE	3120.65 TON	\$ 15.90	\$ 49,618.39	KN 18872
303-022A 3/4" AGGR TY B FOR BASE	2713.62 TON	\$ 18.30	\$ 49,659.25	KN 18872
401-020A CSS-1 DIL EMUL ASPH FOR TACK COAT	556.80 GAL	\$ 3.48	\$ 1,937.66	KN 18872
405-435A SUPERPAVE HMA PAV INCL ASPH&ADD CL SP-3	1492.92 TON	\$ 70.00	\$ 104,504.40	KN 18872
614-015A SIDEWALK	0.00 SY	\$ 80.00	\$ -	KN 20294
614-025A CURB RAMP	0.00 SY	\$ 193.50	\$ -	KN 19965
615-492A CURB & GUTTER TYPE 2	0.00 FT	\$ 50.00	\$ -	KN 20294
621-005A SEED BED PREPARATION	0.58 ACRE	\$ 1,529.67	\$ 890.45	KN 18872
621-010A SEEDING	0.58 ACRE	\$ 1,663.33	\$ 968.26	KN 18872
615-651A TRAFFIC SEPARATOR TYPE 1	300.00 FT	\$ 20.00	\$ 6,000.00	KN 19965
630-020A TRANSVERSE, WORD, SYMBOL, ARROW PAV MKG - WATERBORNE	976.00 SF	\$ 3.40	\$ 3,318.40	KN 13962
630-025A LONGITUDINAL PAVEMENT MARKING	10941.00 FT	\$ 1.05	\$ 11,488.05	KN 18872
656-005A TRAF SIGNAL INSTALLATION	0.00 LS	\$ 229,000.00	\$ -	KN 18872
675-005A SURVEY	1.00 LS	\$ 20,000.00	\$ 20,000.00	KN 18872
Traffic Control	1.00 LS	\$ 73,000.00	\$ 73,000.00	KN 18872
Miscellaneous Minor Items	5%		\$ 20,060.40	
Mobilization	10%		\$ 40,120.81	
SECTION 1 Sub-Total			\$ 461,389.31	
SECTION 2				
CN Change Order / Quantity Variance	5%		\$ 23,069.47	
CN Non-Bid Items	3.5%		\$ 16,148.63	
SECTION 2 Sub-Total			\$ 39,218.09	
SUMMARY				
Sub-Total: SECTION 1 & SECTION 2			\$ 500,607.40	
Contingency - Scoping Level			\$ 150,182.22	
TOTAL CONSTRUCTION COST			\$ 650,789.62	

Summary of Project Costs		Amount
Construction		\$ 650,789.62
Design Services	10%	\$ 65,078.96
Construction Services	12%	\$ 78,094.75
Right-of-Way	0.00 ACRES	\$ -
Total Cost		\$ 793,963.34



**Your Safety • Your Mobility
Your Economic Opportunity**

IDAHO TRANSPORTATION DEPARTMENT

P.O. Box 8028 • Boise, ID 83707-2028
(208) 334-8300 • itd.idaho.gov

June 17, 2021

Sabrina Durtschi
Toll Brothers
3103 W Sheryl Drive, Suite 100
Meridian, ID 83642
sdurtschi@tollbrothers.com
Phone: 208-250-6161

VIA EMAIL

RE: Hoot Nanney Development – ITD Development Condition Memo

Dear Ms. Durtschi,

The Idaho Transportation Department (ITD) appreciated the opportunity to review the Hoot Nanney Development Traffic Impact Study (TIS) located on the northwest corner of SH-16 and Floating Feather Road. We have completed our review and although we do not have any technical questions, we do have concerns for the development's added trips to the intersection of SH-16 /Floating Feather Road.

ITD has entered into an agreement with the city of Star to collect a proportionate share contribution from each new development for impacts to the State highway system. As two agencies we are working together to accelerate highway construction within Star's area of impact to accommodate new development growth. ITD values your contribution to the transportation system so we can help keep goods, services and the public moving at an efficient pace.

Per the TIS, the intersection of SH-16 and Floating Feather Road has failing westbound movements by 2026 buildout. The TIS recommends either limiting the Floating Feather Road / SH-16 intersection to right-in, right-out, left-in or eliminating the west leg of Floating Feather Road completely when the west leg of realigned Floating Feather is constructed under the Rosti Farm Development. This is in alignment with discussions the department has had with ACHD regarding this intersection. Due to additional development in the area, the road also meets warrants for dedicated northbound and southbound right turn lanes along with extending the existing northbound and southbound left turn lanes to meet current ITD design standards. As discussed at the D3 TIS Committee Review meeting on April 14, 2021, ITD shall start asking for proportionate share to restrict and improve this intersection moving forward.

ITD determined Hoot Nanney Development's proportionate share contribution as the following. Details



**Your Safety • Your Mobility
Your Economic Opportunity**

IDAHO TRANSPORTATION DEPARTMENT

P.O. Box 8028 • Boise, ID 83707-2028
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of the proportionate share calculation are included in the attached ITD Staff Technical Report.

Intersection	Proportionate Share Contribution
SH-16 / Floating Feather Road	\$39,222
TOTAL	\$39,222
<i>Approximate per household unit</i>	<i>\$141</i>

Maintaining safety and mobility for Idaho's motorists is of utmost importance to ITD. We appreciate your improvements to livability in Star, ID as we want all residents to travel safely and efficiently around the Treasure Valley. If you have any questions please contact me by email at jayme.coonce@itd.idaho.gov or 208-334-8302.

Sincerely,

Jayme Coonce, P.E.
ITD – District 3
Engineer Manager

Cc:
Shawn Nickel – City of Star
Paige Bankhead – ACHD
Lauren Nuxoll – Kittelson & Associates

City of Star

P.O. Box 130
Star, Idaho 83669
208-286-7247
Fax 208-286-7569

www.staridaho.org



Mayor:
Trevor A. Chadwick

Council:
Kevin Nielsen
Jennifer Salmonsens
Michael Keyes
David Hershey

June 1, 2021

**CITY OF STAR
NOTICE OF PUBLIC HEARING**

Dear Agency Representative:

You have been identified as an agency having jurisdiction on the following matter, which will come before the Star City Council on **September 7, 2021**, at the Star City Hall, 10769 W. State Street, Star, Idaho at 7:00 pm, or as soon thereafter as the matter may be heard.

Application: Milestone Ranch Subdivision
Files #'s AZ-21-10 Annexation-Zoning
DA-21-15 Development Agreement
PP-21-14 Preliminary Plat

Representative: Becky McKay, Engineering Solutions, LLP, 1029 N. Rosario Street Suite 100,
Meridian, Idaho 83642

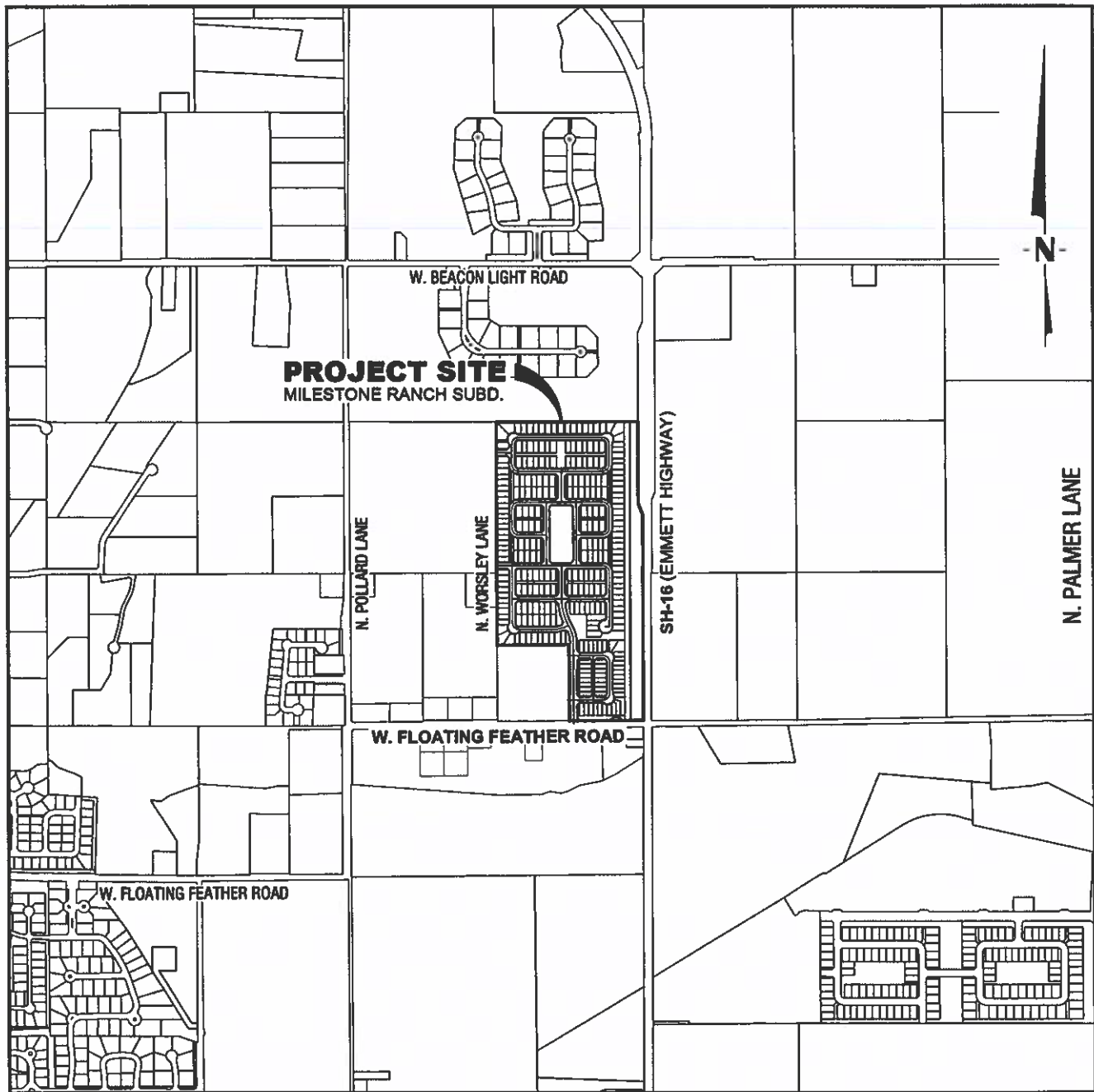
Applicant: Toll Southwest, LLC, 3103 W. Sheryl Drive Suite 101, Meridian, Idaho 83642

Action: The Applicant is seeking approval of an Annexation and Zoning (R-5-DA), a Development Agreement, and Preliminary Plat for a proposed residential subdivision consisting of 284 residential lots and 33 common lots. The property is located at 8542 W. Floating Feather Road in Star, Idaho, and consists of approximately 70.52 acres with a proposed density of 4.24 dwelling units per acre.

Property Location: The subject property is generally located on the northwest corner of W. Floating Feather Road and N. Hwy 16. Ada County Parcel No's. R3721750010, R3721750020 and R3721750030.

Information/Comments: Additional materials are available for review at Star City Hall. Please submit any comments on agency letterhead to Star City Hall, P.O. Box 130, Star, Idaho 83669 or at snickel@staridaho.org **a minimum of 7 days prior to the day of the hearing**, or your agency's response will be documented as "No Comment". For further information, please call 208-286-7247.

Shawn L. Nickel
Planning Director and Zoning Administrator



VICINITY MAP
NOT TO SCALE

MILESTONE RANCH SUBDIVISION
LOCATED WITHIN THE NW 1/4 OF THE SE 1/4, AND THE SW 1/4 OF THE NE 1/4 OF SECTION 4,
T.4N., R.1W., B.M., ADA COUNTY, IDAHO

VICINITY MAP

**ENGINEERING
SOLUTIONS_{LLP}**

1020 N. ROSARIO STREET, SUITE 100
MERIDIAN, IDAHO 83642

PHONE: (208) 638-0880 FAX: (208) 638-0041

DATE	05/03/2021
PROJECT NO.	201102
DWG. FILE	201102-P-PRE.dwg
SCALE	AS SHOWN
DRAWN BY	XXX
SHEET NO.	XX
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City of Star
P.O. Box 130
Star, Idaho 83669
P: 208-286-7247

PRELIMINARY PLAT APPLICATION

***All information must be filled out to be processed.

FILE NO.: <u>PP-21-014</u>
Date Application Received: <u>5-7-21</u> Fee Paid: <u>2104</u>
Processed by: City: _____

Applicant Information:

PRIMARY CONTACT IS: Applicant ☐ Owner ☐ Representative ☐

Applicant Name: Toll Southwest LLC

Applicant Address: 3103 W. Sheryl Drive, Suite 101, Meridian, Idaho Zip: 83616
Phone: 208-424-0020 Email: acapell@tollbrothers.com

Owner Name: Hoot Nanney Farms, Inc., Sandra A. Dixon and Carol H. Dixon

Owner Address: 8542 W. Floating Feather Road, Eagle/490 Camino Mateo, San Marcos, CA Zip: 83616/92069
Phone: N/A Email: N/A

Representative (e.g., architect, engineer, developer):

Contact: Becky McKay Firm Name: Engineering Solutions, LLP
Address: 1029 N. Rosario Street, Suite 100, Meridian, ID Zip: 83642
Phone: 208-938-0980 Email: beckym@engsol.org

Property Information:

Subdivision Name: Milestone Ranch Subdivision
Site Location: 8542 W. Floating Feather Road, Star, ID
Approved Zoning Designation of Site: RUT and Mixed Use
Parcel Number(s): R3721750010, R3721750020 and R3721750030

Zoning Designations:

	Zoning Designation	Comp Plan Designation	Land Use
Existing	MU and RUT	Compact Residential	Agricultural/Residential
Proposed	R-5	Compact Residential	Single-family Residential
North of site	R-2	Neighborhood Residential	Golf Course/Single-family Residential
South of site	R-1 and RUT	Mixed Use/Neighborhood Residential	Agricultural/Residential
East of site	R-2-DA (City of Eagle East of SH 16)	N/A - Eagle Impact Area	State Highway 16
West of site	R3/RUT	Public Use (West Ada)/Neighborhood Residential	Agricultural/Residential

SITE DATA:

Total Acreage of Site - 67.00
Breakdown of Acreage of Land in Contiguous Ownership - 67.00
Total Acreage of Site in Special Flood Hazard Area - N/A
Dwelling Units per Gross Acre - 4.24
Minimum Lot Size - 4,738 s.f. detached, 3,906 duplex patio homes
Minimum Lot Width - 45'

Total Number of Lots - 317
Residential - 240 detached, 44 duplex patio homes
Commercial - 0
Industrial - 0
Common - 33

Total Number of Units - 284
Single-family - 240
Duplex - 44 patio homes
Multi-family - 0

Percent of Site and Total Acreage of Common Area - 16.04 % / 10.75 acres
Percent of Common Space to be used for drainage - 10% (underground)
Describe Common Space Areas (amenities, landscaping, structures, etc.) - Clubhouse, pool facility with parking, pickleball courts and mews, pathways and gazebo areas
Proposed Dedicated Lots and Acreage (school, parks, etc.): N/A

Public Streets - 50' and 20' alleys Private Streets - _____
Describe Pedestrian Walkways (location, width, material) - 5' paved pathways within the linear open space, central common area, and mews
Describe Bike Paths (location, width, material) - N/A

FLOOD ZONE DATA: (This Info Must Be Filled Out Completely Prior to Acceptance):

Total Acreage of Site in Special Flood Hazard Area - N/A

- a. A note must be provided on the final plat documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plat in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxxC, 160xxxxxxE, etc.: 160001C130J
FIRM effective date(s): mm/dd/year 6/19/2020
Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: X
Base Flood Elevation(s): AE 0 ft., etc.: N/A
- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.

- d. Please see link for help with FEMA information <https://msc.fema.gov/portal/search>.
- e. All maps will delineate flood plain lines.

PUBLIC SERVICES (Describe what services are available and agency providing service):

Potable Water - Star Sewer and Water District
 Irrigation Water- Groundwater (IDWR 63-2957)
 Sanitary Sewer- Star Sewer and Water District
 Fire Protection - Star Fire District
 Schools - West Ada School District
 Roads - Ada County Highway District

SPECIAL ON-SITE FEATURES (Yes or No – If yes explain in your narrative):

Areas of Critical Environmental Concern - No Floodplain - No
 Evidence of Erosion - No Fish Habitat - No
 Historical Assets - No Mature Trees - No
 Riparian Vegetation - No Steep Slopes - No
 Stream/Creek - No Unstable Soils - No
 Unique Animal Life - No Unique Plant Life - No

Application Requirements:

(Applications are required to contain one copy of the following unless otherwise noted. **When combining with other applications (Annexation, CUP, etc.) please include one paper copy for all applications**)

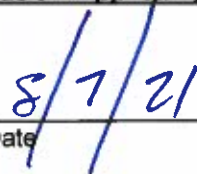
Applicant (√)	Description	Staff (√)
x	Pre-application meeting with Planning Department required prior to neighborhood meeting.	
x	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting sign-in sheet. (Please contact the City for addresses & labels) (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	
x	Completed and signed Preliminary Plat Application	
x	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	
x	Narrative explaining the project. (must be signed by applicant)	
x	Legal description of the property (word.doc and pdf version with engineer's seal)	
x	Recorded warranty deed for the subject property	
x	If the signature on this application is not the owner of the property, an original notarized statement (affidavit of legal interest) from the owner stating the applicant is authorized to submit this application.	
x	Approval of the proposed subdivision name from Ada County Surveyor's office.	
x	One (1) 8½" X 11" copy and electronic copy in pdf. format of vicinity map showing the location of the subject property	
x	One (1) full-size copy and one (1) 11" X 17" copy of the Preliminary Plat	
x	Electronic copy in pdf. format of Preliminary Plat	
x	One (1) full-size copy and one (1) 11" X 17" copy of the landscape plan	
x	Electronic copy in pdf. format of landscape plan	
x	Electronic copy in pdf. format of preliminary site grading & drainage plans	
x	Phasing plan shall be included in the application if the project is to be phased.	

X	Letter of authorization from the local Post Office approving mailbox delivery to subdivision including location(s) of mailbox clusters. Locations shall be indicated on Preliminary Plat.	
X	List of name(s) and addresses of all canal or irrigation ditches within or contiguous to the proposed development.	
X	One (1) copy of names and addresses printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the property being considered as shown on record in the County Assessor's office. Please contact the City to request addresses and labels.	
X	Site report of the highest seasonal groundwater elevation prepared by a registered soils scientist. (If requested by City Engineer)	
N/A	Special Flood Information – Must be included on Preliminary Plat and Application form.	
X	One (1) 8½" X 11" copy and electronic copy in pdf format of streetlight design and location information. Streetlights shall meet all City "Dark Sky" requirements.	
X	Written confirmation that a traffic impact study is not required and/or has been submitted for review to Ada County Highway District/Canyon Highway District No. 4/Idaho Transportation Department (if applicable).	
X	One (1) copy of the Electronic versions of submitted application including neighborhood meeting information, signed application, narrative, legal description, warranty deed, vicinity map, preliminary plat, landscape plan, preliminary site grading & drainage plans, irrigation district information, streetlight design & location, confirmation of a traffic impact study <u>shall be submitted in original pdf format (no scans for preliminary plat, landscape plans or grading and drainage plans) on a thumb drive only (no discs)</u> with the files named with project name and plan type. We encourage you to also submit a colored version of the preliminary plat and/or landscape plan for presentation purposes prior to City Council.	
To be provided	Signed Certification of Posting with pictures. (see attached posting requirements and certification form) – To be completed by application after acceptance of application. Staff will notify applicant of hearing and posting date.	
Understood	Property shall be annexed into Star Sewer and Water District prior to Final Plat approval. Please contact SSWD for details.	

FEE REQUIREMENT:

**** I have read and understand the above requirements. I further understand fees will be collected at the time of filing an application. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.**


Applicant/Representative Signature


Date

**MILESTONE RANCH SUBDIVISION
ANNEXATION AND ZONING, REZONING AND
PRELIMINARY PLAT APPLICATIONS**

WRITTEN NARRATIVE

Introduction:

Toll Southwest LLC hereby applies for annexation and zoning of 10.65 acres to R-5-DA, rezoning of 59.87 acres from MU to R-5-DA, and a preliminary plat on 67.0 acres consisting of 240 single-family residential lots, 44 duplex lots (patio homes) and 33 common lots for Milestone Ranch Subdivision. The development will be a premier active adult community for those 55 and older. The subject site is located west of State Highway 16 and north of Floating Feather Road. The subject property abuts the River Birch Golf Course on the north boundary which will provides golf activities. State Highway 16 lies adjacent to the east boundary and property owned by the West Ada School District is adjacent to the west property line. The topography of the property varies in elevation from 2559 along the north boundary to 2525 along W. Floating Feather Road. The elevation difference on the property varies by 34 feet.

Existing Use on the Property:

The property is occupied by an existing home, accessory buildings, and a shop. The parcel is currently in agricultural production. There are two large pivot sprinklers on the property used for irrigation. The existing buildings will be removed prior to construction of the infrastructure. The property was previously platted as Lots 1, 2 and 3, Block 1 of Hoot Nanney Farms Subdivision.

Comprehensive Plan and Surrounding Land Uses:

The City of Star's Land Use Map designates the area as Compact Residential. The designation allows for a mixture of housing types such as single-family, two-family, and multi-family with a density range of 5 to 10 dwelling units per acre. The applicant is requesting annexation and zoning/rezoning to R-5 with a development agreement. The R-5 zoning request is supported by the Compact Residential designation. The proposed gross density of the project is 4.24 dwelling units per acre which is lower than the recommended density. The location of the property along a state highway is appropriate for medium density residential development. The surrounding land uses within the immediate area are as follows: North – River Birch Golf Course and estate residential (Trellis Subdivision); South – agricultural and estate residential; East – State Highway 16 and agricultural land; and West – West Ada School District property intended for a future school, estate residential (Worsley's Folly Subdivision) and agricultural property. Residential development has been expanding into this area east along the W. Floating Feather Road corridor. The availability of central services in this area is allowing for further development east of Pollard Lane along Floating Feather Road.

Annexation and Rezone:

The applicant is requesting annexation and rezone of 10.65 acres from RUT (Rural Urban Transition) to R-5-DA (Medium-Density Residential District/Development Agreement). A portion of the property was previously annexed and zoned within the City of Star as MU (Mixed Use). The applicant requests the 59.87 acres currently zoned MU (Mixed Use District) be rezoned R-5-DA (Medium Density Residential District/Development Agreement). The R-5 zoning designation is supported within the Compact Residential designation of the Comprehensive Plan Land Use Map.

Residential Lots and Density:

Milestone Ranch Subdivision provides single-family lots ranging in size from 4,738 square feet to 11,431 square feet and duplex lots (patio homes) ranging from 3,906 square feet to 9,172 square feet. The average residential lot size within the development is 5,498 square feet. The proposed gross density of the project is 4.24 dwelling units per acre (du/acre), with a net density of 6.09 du/acre. The development has a variety of lot widths (40, 45 and 55 feet) and depths of 110 feet to accommodate different house plans and resident lifestyles. All the proposed homes within the development will single-story. A phasing plan for the project has been provided with the application reflecting six (6) phases. The applicant respectfully requests phasing flexibility to adjust the number of lots, combination of lots and number of phases to reflect changing market conditions.

Sewer and Water Facilities:

The development is currently serviceable with central sewer and water by Star Sewer and Water District. A 12-inch water main and 12-inch gravity sewer main are located within the intersection of Floating Feather Road at the Pollard Lane. The water and sewer main will be extended east within Floating Feather Road to the subject property. A 10-inch water main line is currently located in Pollard Lane north of the Floating Feather Road intersection. The applicant will be required to construct the water main east through property owned by West Ada School District. The school district has agreed to provide an easement to Star Sewer and Water District for extension of the water main to the subject property. The Milestone Ranch development is located within two water pressure zones referred to by the Star Sewer and Water District as the upper and lower pressure zones. Due to the property split into the two zones is necessary to extend water mains from both the upper and lower zones. The applicant has coordinated the utility location and sizing with the District and will be required to install a 12-inch water main line to the north boundary for future extension. The District indicates sewer and water capacities exist for service of the development and the applicant will request annexation into the Star Sewer and Water District.

Transportation:

Ada County Highway District and Idaho Transportation Department have plans for this section of Floating Feather Road to be realigned in the future so that Floating Feather is continuous between Palmer Lane (to the east of State Highway 16) and Pollard Lane (to the west of State Highway 16). It is anticipated that the realignment of w. Floating Feather Road within the Rosti

Farms Subdivision will be completed in the summer of 2021. The preliminary plat for Milestone Ranch reflects the termination of Floating Feather Road with a cul-de-sac. However, Floating Feather Road may be converted into a right-in/right-out intersection at State Highway 16. The future of the existing intersection will be determined by ACHD and ITD. If the existing Floating Feather Road along the subject property is disconnected from State Highway 16, this section of Floating Feather Road may be downgraded from a minor arterial to a collector. The applicant has provided an additional 5-feet of right-of-way for a total of 30 feet from centerline. The applicant will be required to widen W. Floating Feather Road to 17 feet from centerline and install a 5-foot-wide detached sidewalk within the landscape buffer.

The applicant is preserving area for the future expansion of State Highway 16. Idaho Transportation Department (ITD) indicated the future right-of-way will be 150 feet from centerline of highway. The existing right-of-way adjacent to the Milestone Ranch property varies from 40 feet to 80 feet from centerline. The applicant is preserving between 70 and 110 additional feet for the future expansion of State Highway 16. This area will be within a common lot along the east boundary available when ITD purchases additional right-of-way.

The proposed development will have 5-foot-wide detached sidewalks with 8-foot-wide landscape buffers along all local streets. All sidewalks along arterials and collector roadways will also be detached. The proposed rights-of-way for the local streets are 50 feet in width with a 36-foot-wide street section. The collector road (N. Milestone Avenue) will have a 60-foot-wide right-of-way with a 10-foot-wide center island and two 21-foot-wide travel lanes. The collector parkway will be constructed for approximately 1,300 feet into the development terminating at the central amenity center. The entrance into the proposed development is located west 660 feet from the centerline of State Highway 16 which meet ACHD Policy Manual requirements.

The applicant is proposing five (5) public alleys within the development. The alleys will be 20 feet in width and meet all requirements of the ACHD Policy Manual. The duplex (attached patio homes) within Block 2 and 3 will be alley-loaded homes. The other four (4) alleys will have frontload homes. The alleys with the front load homes will have a landscape buffer ranging from 10 to 20 feet on the outside of the alley.

Four stub streets have been provided to the west. Two of the stubs connect to the collector road, N. Milestone Avenue and two local street stubs further north into the project.

Traffic Impact Study:

A traffic impact study was prepared for the project by Kittelson and Associates in April 2021. The traffic impact study was submitted to Ada County Highway District and ITD for their review and approval. At buildout in 2026, the Milestone Ranch development will generate approximately 1,412, daily net new trips per day – 89 trips during the AM peak hour, and 107 trips during the PM peak hour. The estimated distribution of trips on the roadway network is estimated with 5 percent north of the site, 70 percent south of the site, 5 percent westbound and 20 percent eastbound. This distribution assumes the W. Floating Feather Road approach to State Highway 16 remains as a right-in/right-out.

The TIS reviewed two scenarios for future traffic conditions. Scenario 1 assumed the existing Floating Feather Road remains connected to SH-16 at the time of the development and Scenario 2 which assumes the west leg of the existing Floating Feather Road will be disconnected from SH-16.

The study area included Floating Feather Road and Pollard Lane, Floating Feather Road and Worsley Lane, Floating Feather Road and State Highway 16 and the future intersection of the realigned Floating Feather Road and State Highway 16, along with the project entrance at Floating Feather Road. Analyzing the total traffic conditions in 2026 the study found the site generated trips did not impact any additional intersections not previously identified in the background traffic conditions. All findings and mitigations required for intersections to meet operational standards outlined under background conditions remain consistent in the year 2026 total traffic conditions. All roadway segments operate within the ACHD volume threshold under total buildout conditions. The site evaluation determined no turn lanes are warranted at Floating Feather Road and Milestone Avenue. The intersection site distance evaluation identified that the ACHD required distances can be achieved at all the site intersections. The proposed approach to W. Floating Feather Road meets ACHD requirements for spacing.

ITD will be evaluating the proposed development which adds trips on to the state highway system and may require monetary mitigation based on the proportionate share of the impact on the intersections. The applicant anticipates ITD will provide a monetary amount to be held in trust at the City of Star for the specific improvements.

Irrigation, Drainage and Pressure Irrigation Facilities:

The subject property lies within the service area of Farmers Union Ditch Company but has no water rights. A report prepared by SPF Water Engineers, dated November 2020 is included with the application. The property has groundwater rights established with Idaho Department of Water Resources in 1953 under GWR 63-2957. The water right allows for 1.3 cubic feet per second or 583 gallons per minute. The existing irrigation well has a 12-inch diameter is 72 feet deep and capable of pumping 1.6 cubic feet per second or 718 gallons per minute. The existing well is located near the middle of the property on Lot 2, Block 10. The well will provide pressurized irrigation water for the entire development. The homeowners will be assessed by the HOA for operation and maintenance of the well and pressure irrigation delivery system.

An existing 12-inch gravity irrigation pipe traverses the northwest corner of the subject property. The pipe extends from the north boundary into the property owned by West Ada School District. The applicant will coordinate with the adjoining property owners to relocate the pipe to the exterior of the development.

Storm drainage will be retained on site, and any discharge into a wastewater facility will not exceed pre-development flows. Local and collector streets will utilize underground retention facilities within the common areas. All storm drainage facilities will be designed in accordance with Ada County Highway District and Department of Environmental Quality standards. A geotechnical report was prepared for the site. Geotechnical Engineering firm (GeoTek)

excavated 16 test holes and installed piezometers to monitor the groundwater levels. GeoTek has been obtaining monthly groundwater readings at the property since November 2020. No high groundwater was encountered at the site.

Amenities:

The total open space within the development equates to 10.75 acres or 16.04 percent. This calculation does not include the 5.93 acres preserved for the future State Highway 16 right-of-way. The useable open space within the project is 10.63 acres, or 15.87 percent of the site. This calculation does not include the 8-foot-wide landscape parkways along all local streets. The proposed amenities within the project include a 2.44-acre central common area with a clubhouse, swimming pool facility, plaza with picnic gazebos, and four pickleball courts. Two pocket parks consisting of 2.15 acres will include pathways, sitting areas and open grass for pets. The project also includes 20 and 30-foot-wide mews behind the lots providing additional pedestrian connections and an open atmosphere. Multiple micro-paths within the development provide interconnection to the central amenity, pocket parks and mew. A 50-foot-wide common lot is provided along with two 13-foot-wide common lots providing access to the golf course from within the development. This connection would allow the golfers easy cart access to the golf course. The 50-foot-wide lot could also be used as a stub street in the event the golf course were to redevelop in the future.

Preliminary Plat:

Overall Preliminary Plat Data:

- Total Site Area: 67.00 acres
- Single-Family Residential Area: 31.20 acres (46.57%)
- Duplex (Attached Patio Homes): 4.65 acres (6.94%)
- Public Right-of-Way Area: 14.47 acres (21.60%)
- Future State Highway 16 Right-of-Way: 5.93 acres (8.85%)
- Minimum Single-Family Lot Size: 4,738 square feet
- Minimum Duplex Lot Size: 3,906 square feet
- Average Residential Lot Size: 5,498 square feet
- Single-Family Lots: 240
- Duplex (Attached Patio Homes): 44
- Common Lots: 33
- Total Lots Buildable Lots: 284
- Total Lots: 317
- Gross Residential Density: 4.24 du/ac
- Net Residential Density: 6.09 du/ac

The property is within an area designated for compact residential development on the City's future land use map. The proposed medium density of the project is consistent with the existing and proposed residential developments in the area. The Milestone Ranch development complies with the Comprehensive Plan by promoting various types of lot sizes to meet the needs and preferences of citizens regardless of age, race, income or family size. The Comprehensive Plan encourages an emphasis on high-quality residential development and variety of housing styles and sizes. Adding an active adult community within the City of Star will provide another type of neighborhood that provides amenities and activities not found in traditional developments.

Development Agreement:

The proposed development provides two distinct residential types of lots – single-story detached single-family dwelling and single-story attached duplex patio homes. The project will be a premier active adult community targeting those 55 and older.

The requested dimensional standards for the Milestone Ranch development are as follows:

- Minimum Residential Lot Frontage: 20 feet
- Front Setback (Measured from the back of walk or property line): 20 feet
- Rear Setback: 10 feet
- Interior Side Setback (Single-story): 5 feet
- Local Street Side Setback: 20 feet
- Street Landscape Buffers:
 - Floating Feather Road: 35 feet
 - State Highway 16: 50 feet
 - Residential Collectors: 20 feet and 10 feet along the west side of N. Milestone Avenue that abuts the out parcel.
- Maximum Building Height: 35 feet
- Minimum Detached Single-Family Lot Size: 4,738 square feet
- Minimum Attached Duplex Patio Homes: 3,906 square feet
- Average Lot Size: 5,498 square feet

The development includes significant open space, high quality amenities and pathways which are not normally found within a standard subdivision. Toll Southwest LLC wants to create a community within the City of Star that will set a new standard for a senior development.

Submitted by:

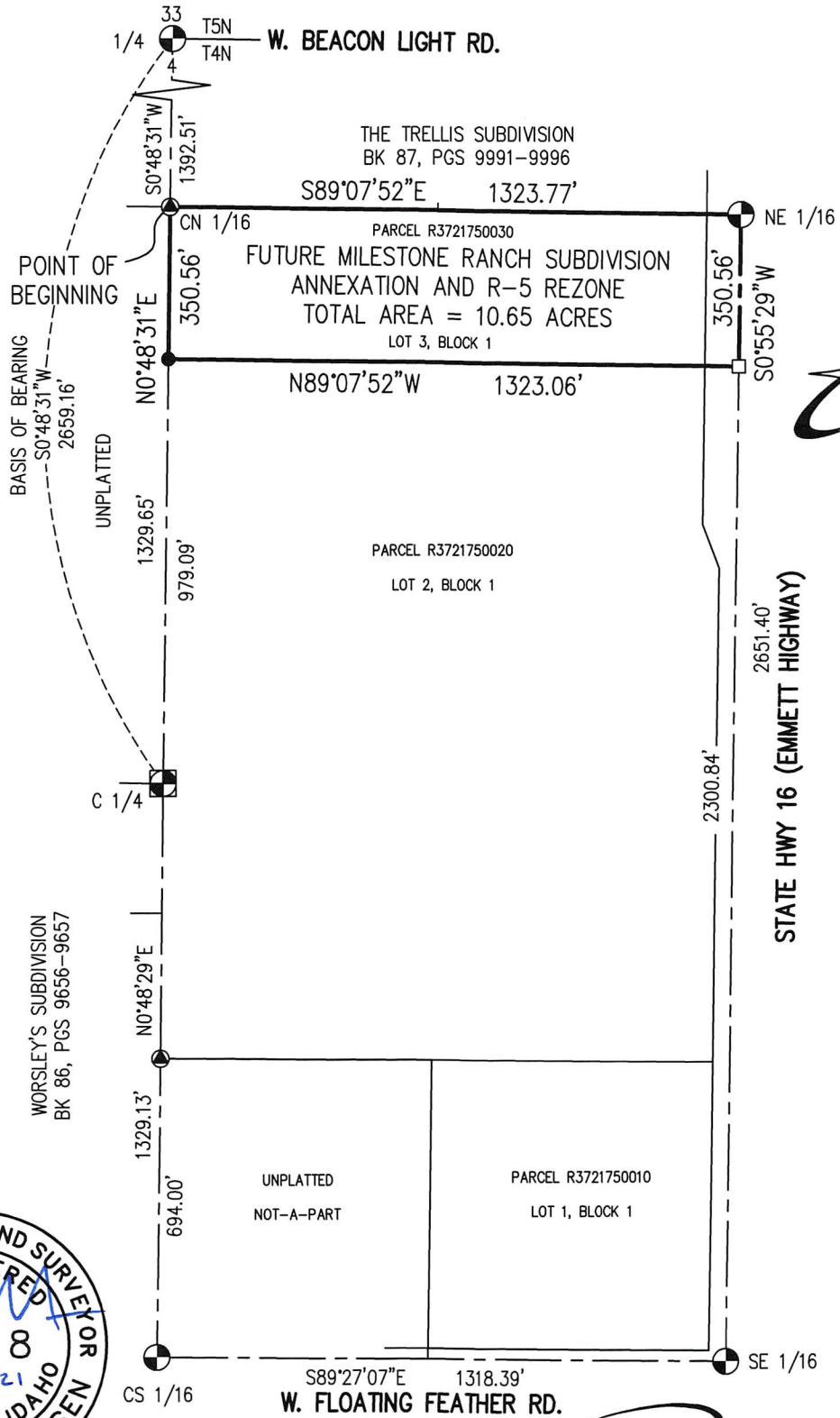
ENGINEERING SOLUTIONS, LLP

A handwritten signature in blue ink, reading "Becky McKay", is written over a horizontal line.

Becky McKay, Partner and Chief Planner

MILESTONE RANCH SUBDIVISION

ANNEXATION AND R-5 REZONE EXHIBIT



LandSolutions
Land Surveying and Consulting

231 E. 5TH ST., STE. A
MERIDIAN, ID 83642
(208) 288-2040 (208) 288-2557 fax
www.landsolutions.biz

JOB NO. 20-88

Legal Description
Milestone Ranch Subdivision – Annexation and R-5 Rezone

A parcel of land being Lot 3 of Block 1 of Hoot Nanney Farms Subdivision as shown in Book 103 of Plats on Pages 13839 through 13841, records of Ada County, Idaho, and a portion of SW ¼ of the NE ¼ of Section 4, Township 4 North, Range 1 West, Boise Meridian, Ada County, Idaho, more particularly described as follows:

Commencing at a Brass Cap monument marking the northwest corner of the NE ¼ of said Section 4, from which an Aluminum Cap monument marking the southwest corner of said SW ¼ of the NE ¼ (C ¼ corner) bears S 0°48'31" W a distance of 2659.16 feet;

Thence along the westerly boundary of said NE ¼ S 0°48'31" W a distance of 1392.51 feet to the northwest corner of said Lot 3 of Block 1 of Hoot Nanney Farms Subdivision and the **POINT OF BEGINNING**;

Thence along the northerly boundary of said Lot 3 and the extension thereof, also being the northerly boundary of said SW ¼ of the NE ¼, S 89°07'52" E a distance of 1323.77 feet to a Brass Cap monument marking the northeast corner of said SW ¼ of the NE ¼;

Thence along said easterly boundary of said NW ¼ of the SE ¼ S 0°55'29" W a distance of 350.56 feet to a point on the extension of the southerly boundary of said Lot 3;

Thence along said southerly boundary of Lot 3 and the extension thereof N 89°07'52" W a distance of 1323.06 feet to a point marking the southwest corner of said Lot 3;

Thence along the westerly boundary of said Lot 3 N 0°48'31" E a distance of 350.56 feet to the **POINT OF BEGINNING**.

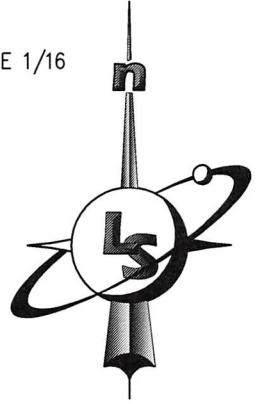
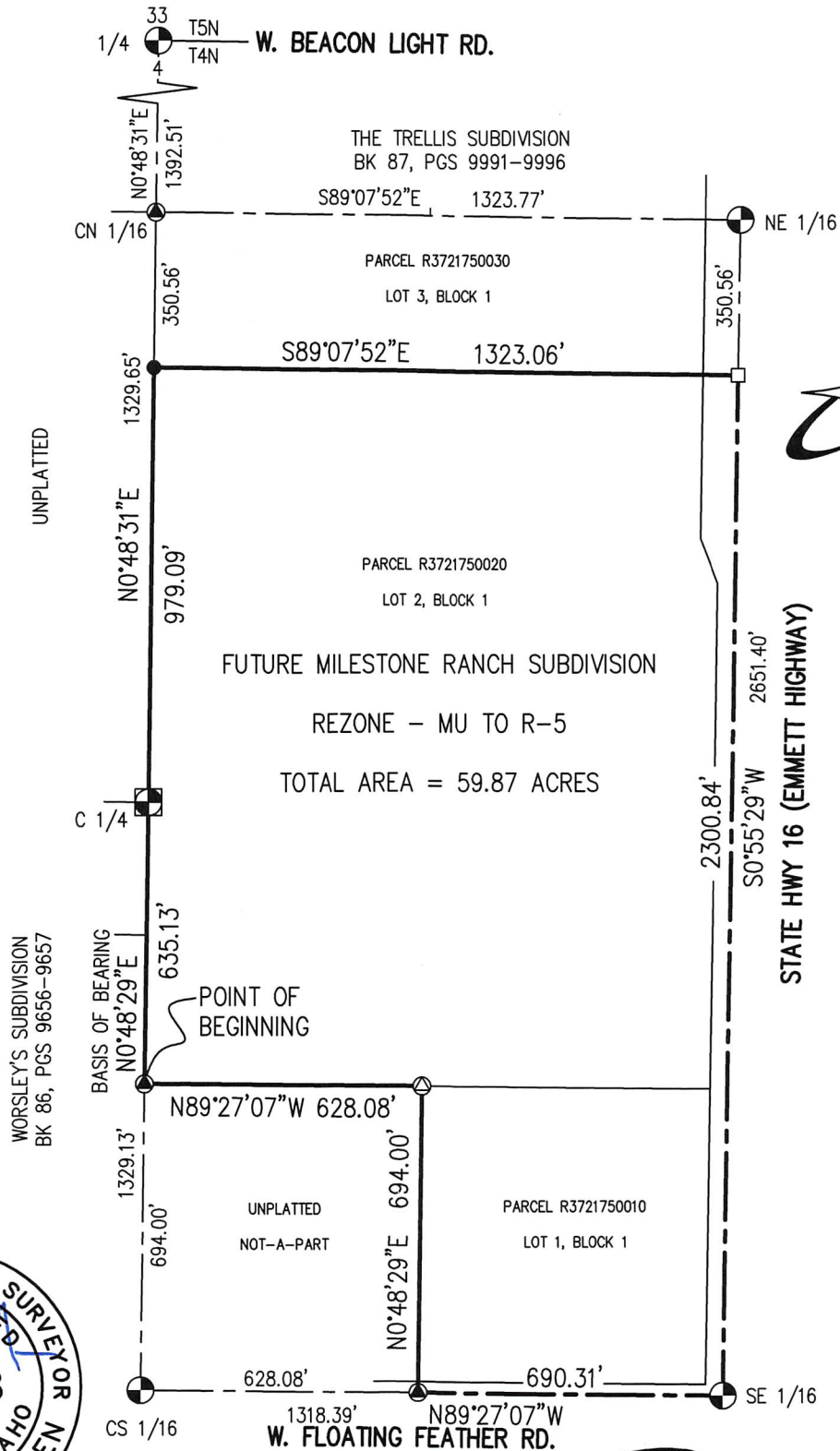
This parcel contains 10.65 acres and is subject to any easements existing or in use.

Clinton W. Hansen, PLS
Land Solutions, PC
April 28, 2021



MILESTONE RANCH SUBDIVISION

MU TO R-5 REZONE EXHIBIT



LandSolutions
Land Surveying and Consulting

231 E. 5TH ST., STE. A
MERIDIAN, ID 83642
(208) 288-2040 (208) 288-2557 fax
www.landsolutions.biz

JOB NO. 20-88

Legal Description
Milestone Ranch Subdivision – MU to R-5 Rezone

A parcel of land being Lots 1 and 2 of Block 1 of Hoot Nanney Farms Subdivision as shown in Book 103 of Plats on Pages 13839 through 13841, records of Ada County, Idaho, and a portion of the NW ¼ of the SE ¼ and the SW ¼ of the NE ¼ of Section 4, Township 4 North, Range 1 West, Boise Meridian, Ada County, Idaho, more particularly described as follows:

Commencing at a Brass Cap monument marking the southwest corner of said NW ¼ of the SE ¼ (CS 1/16 corner), from which an Aluminum Cap monument marking the northwest corner of said NW ¼ of the SE ¼ (C ¼ corner) bears N 0°48'29" E a distance of 1329.13 feet;

Thence along the westerly boundary of said NW ¼ of the SE ¼ N 0°48'29" E a distance of 694.00 feet to the southwest corner of said Lot 2 of Block 1 of Hoot Nanney Farms Subdivision and the **POINT OF BEGINNING**;

Thence continuing along said westerly boundary and the westerly boundary of said Lot 2 N 0°48'29" E a distance of 635.13 feet to the Aluminum Cap marking the northwest corner of said NW ¼ of the SE ¼;

Thence continuing along said westerly boundary of Lot 2 and the westerly boundary of said SW ¼ of the NE ¼ N 0°48'31" E a distance of 979.09 feet to a point marking the northwest corner of said Lot 2;

Thence along the northerly boundary of said Lot 2 and the extension thereof S 89°07'52" E a distance of 1323.06 feet to a point on the easterly boundary of said SW ¼ of the NE ¼;

Thence along said easterly boundary and the easterly boundary of said NW ¼ of the SE ¼ S 0°55'29" W a distance of 2300.84 feet to a Brass Cap marking the southeast corner of said NW ¼ of the SE ¼;

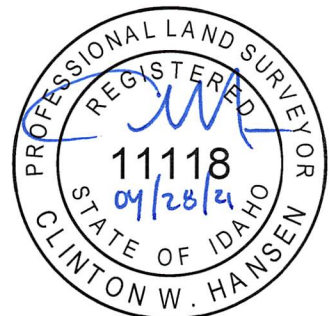
Thence along the southerly boundary of said NW ¼ of the SE ¼ N 89°27'07" W a distance of 690.31 feet to a 5/8 inch diameter iron pin on the extension of the westerly boundary of said Lot 1;

Thence along the westerly boundary of said Lot 1 and the extension thereof N 0°48'29" E a distance of 694.00 feet to a 5/8 inch diameter pin marking the northwest corner of said Lot 1;

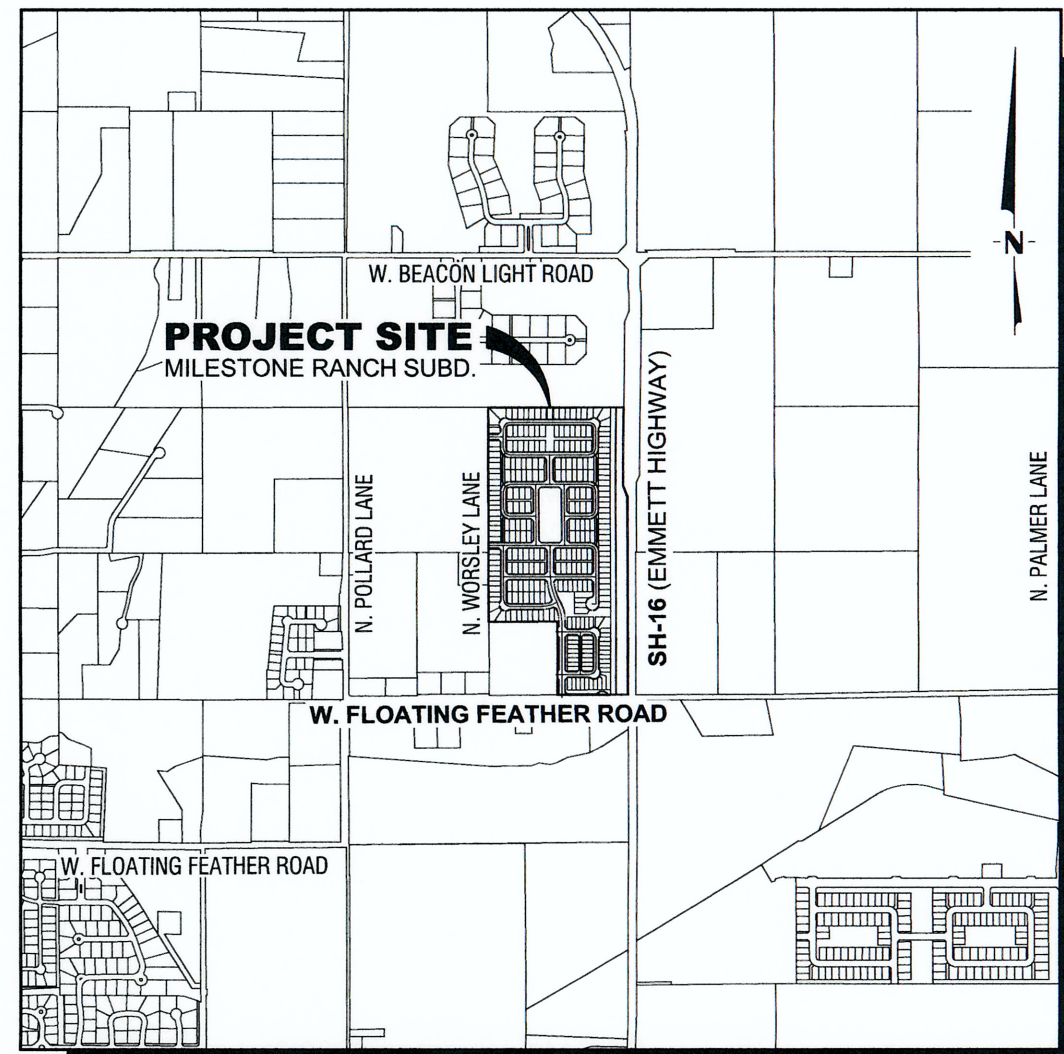
Thence along the southerly boundary of said Lot 2 N 89°27'07" W a distance of 628.08 feet to the **POINT OF BEGINNING**.

This parcel contains 59.87 acres and is subject to any easements existing or in use.

Clinton W. Hansen, PLS
Land Solutions, PC
April 28, 2021



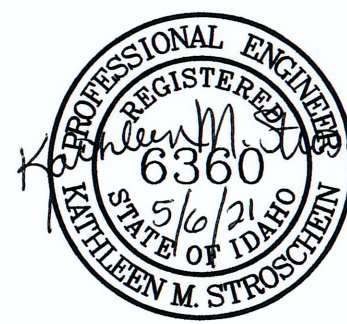
A RESUBDIVISION OF LOTS 1, 2, AND 3, BLOCK 1, HOOT NANNEY FARMS SUBDIVISION
LOCATED WITHIN THE NW 1/4 OF THE SE 1/4, AND THE SW 1/4 OF THE NE 1/4 OF SECTION 4,
T.4N., R.1W., B.M., ADA COUNTY, IDAHO



VICINITY MAP
NOT TO SCALE

1. SANITARY SEWER AND DOMESTIC WATER SERVICE TO BE PROVIDED BY STAR SEWER AND WATER DISTRICT.
2. SUBJECT PROPERTY DOES NOT FALL WITHIN FEMA FLOOD HAZARD ZONES A AND X. SEE FIRM PANEL 160001C0130J, DATED JUNE 19, 2020.
3. ALL LOTS ARE HEREBY DESIGNATED AS HAVING A PERMANENT EASEMENT FOR PUBLIC UTILITIES, IRRIGATION, AND LOT DRAINAGE OVER THE TEN (10) FEET ADJACENT TO ANY PUBLIC STREET. THIS EASEMENT SHALL NOT PRECLUDE THE CONSTRUCTION OF HARD-SURFACED DRIVEWAYS AND WALKWAYS TO EACH LOT.
4. UNLESS OTHERWISE SHOWN AND DIMENSIONED, ALL LOTS ARE HEREBY DESIGNATED AS HAVING A PERMANENT EASEMENT FOR PUBLIC UTILITIES, IRRIGATION AND LOT DRAINAGE OVER THE FIVE (5) FEET ADJACENT TO ANY INTERIOR SIDE LOT LINE AND OVER THE TWELVE (12) FEET ADJACENT TO ANY REAR LOT LINE OR SUBDIVISION BOUNDARY.
5. THIS SUBDIVISION WILL BE SUBJECT TO THE TERMS OF A DEVELOPMENT AGREEMENT WITH THE CITY OF STAR.
6. IRRIGATION WATER SHALL BE PROVIDED FROM THE GROUNDWATER RIGHTS WITH IDWR (63-2957) IN COMPLIANCE WITH IDAHO CODE 31-3805(B). LOTS WITHIN THE SUBDIVISION SHALL BE ENTITLED TO IRRIGATION WATER RIGHTS, AND THE INDIVIDUAL LOTS SHALL BE SUBJECT TO IRRIGATION WATER ASSESSMENTS.
7. BUILDING SETBACKS AND DIMENSIONAL STANDARDS IN THIS SUBDIVISION SHALL BE IN COMPLIANCE WITH THE APPLICABLE ZONING REGULATIONS OF THE CITY OF STAR OR AS APPROVED UNDER THE DEVELOPMENT AGREEMENT.
8. DIRECT LOT ACCESS TO STATE HIGHWAY 16 AND W. FLOATING FEATHER ROAD IS PROHIBITED. (EXCEPT EMERGENCY VEHICLE ACCESS)
9. LOTS 1, 2, 25, 39, 88, 89, 90, 101, BLOCK 1; LOT 1, BLOCK 2; LOTS 1 AND 10, BLOCK 3; LOT 1, BLOCK 4; LOT 1, BLOCK 5; LOTS 1 AND 24, BLOCK 6; LOTS 1 AND 21, BLOCK 7; LOTS 1 AND 9, BLOCK 8; LOT 1, BLOCK 9; LOT 1, BLOCK 10; LOTS 1 AND 7, BLOCK 11; LOT 6, BLOCK 12; LOTS 1 AND 7, BLOCK 13; LOT 1, BLOCK 14; LOT 1, BLOCK 15; LOTS 1 AND 9, BLOCK 16; LOTS 1 AND 9, BLOCK 17; AND LOT 1, BLOCK 18 SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

TOTAL ACRES		67.00 AC
SINGLE-FAMILY RESIDENTIAL	(46.57%)	31.20 AC
DUPLEX RESIDENTIAL	(6.94%)	4.65 AC
PUBLIC RIGHT-OF-WAY	(21.60%)	14.47 AC
FUTURE SH-16 RIGHT-OF-WAY	(8.85%)	5.93 AC
OPEN SPACE	(16.04%)	10.75 AC



TOTAL LOTS	317
SINGLE-FAMILY RESIDENTIAL LOTS	240
DUPLEX RESIDENTIAL LOTS	44
OPEN SPACE LOTS	33
TOTAL RESIDENTIAL LOTS	284
USEABLE OPEN SPACE	(15.87%) 10.63 AC
CENTRAL AMENITY LOT	2.44 AC
ARTERIAL BUFFERS	3.00 AC
COLLECTOR BUFFERS	0.70 AC
END BLOCK BUFFERS/PATHS	1.24 AC
POCKET PARKS	2.15 AC
MEWS	1.10 AC
LOT AREA DATA	
MINIMUM LOT SIZE (SINGLE-FAMILY)	4,738 SF
MINIMUM LOT SIZE (DUPLEX)	3,906 SF
AVERAGE LOT SIZE	5,498 SF
RESIDENTIAL DENSITY (D_u/AC)	
GROSS RESIDENTIAL DENSITY	4.24
NET RESIDENTIAL DENSITY (EXCLUDES RIGHT-OF-WAY)	6.09

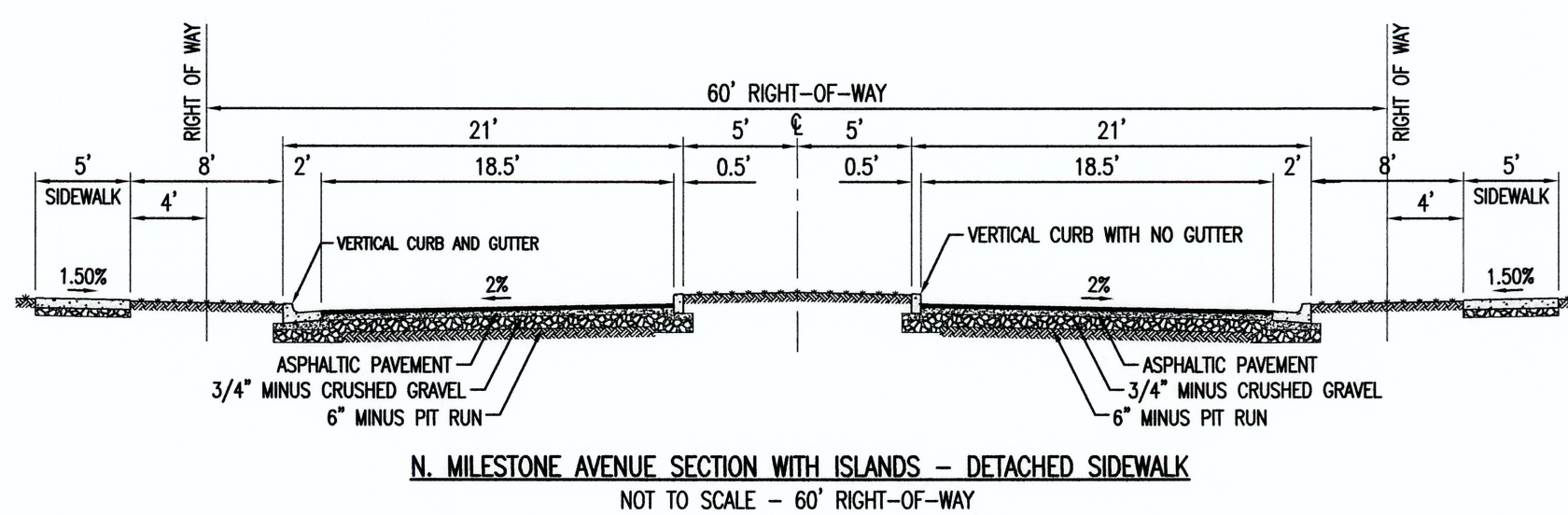
EXISTING: MW, RUT PROPOSED: R-5-DA

SITE AMENITIES

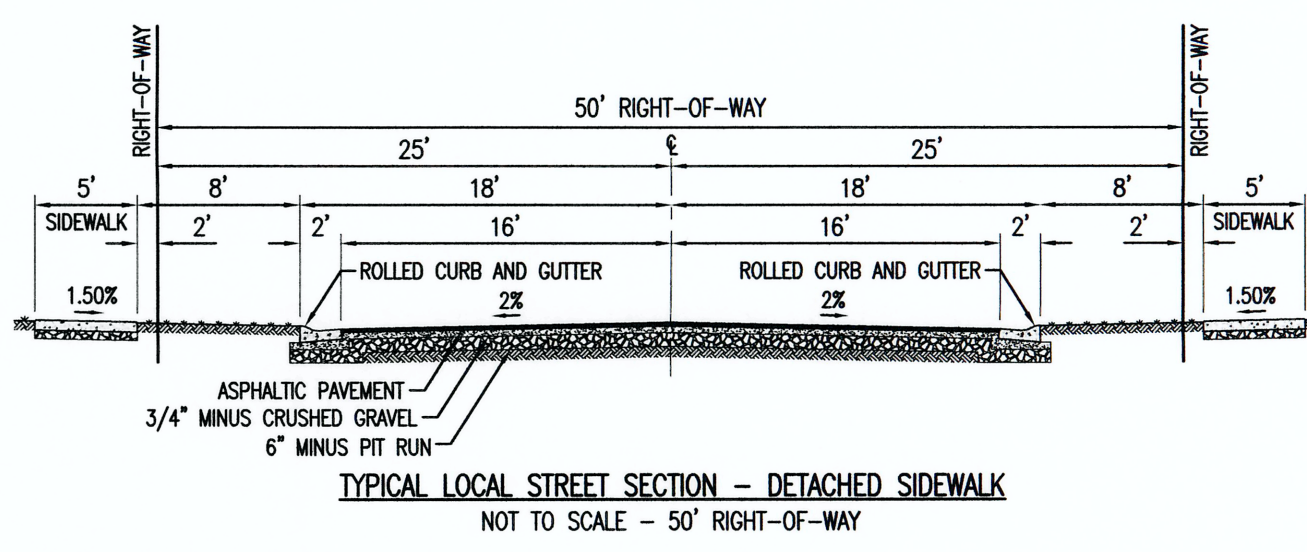
CLUB HOUSE, SWIMMING POOL FACILITY, PICKLEBALL COURTS,
PICNIC GAZEBO, MEWS, AND MULTI-USE PATHS

----	BOUNDARY LINE
=====	CITY LIMITS BOUNDARY
----	PHASING BOUNDARY
----	RIGHT-OF-WAY LINE
----	CENTERLINE
----	PROPERTY LOT LINE
----	ZERO LOT LINE
----	PROPOSED EASEMENT LINE
----	PROPERTY SETBACK LINE
=====	PROPOSED VERTICAL CURB
=====	PROPOSED ROLLED CURB
○-----SD	PROPOSED STORM DRAIN LINE AND MANHOLE
○-----SS	PROPOSED SANITARY SEWER LINE
○-----SS	EXISTING SEWER LINE AND MANHOLE

- FOUND 5/8" IRON PIN, AS NOTED
- FOUND 1/2" IRON PIN, AS NOTED
- FOUND BRASS CAP MONUMENT
- FOUND ALUMINUM CAP MONUMENT
- FOUND PK/MAG NAIL
- CALCULATED POINT, NOTHING SET



N. MILESTONE AVENUE SECTION WITH ISLANDS - DETACHED SIDEWALK
NOT TO SCALE - 60' RIGHT-OF-WAY



TYPICAL LOCAL STREET SECTION - DETACHED SIDEWALK
NOT TO SCALE - 50' RIGHT-OF-WAY

<div><div><div><div><div><div></div><div>DATE ISSUED</div></div><div><div>05/06/2021</div></div></div><div><div><div><div><div></div><div>PROJECT NO.</div></div><div><div>201102</div></div></div><div><div><div><div><div></div><div>DWG. FILE</div></div><div><div>201102-P-PREL.dwg</div></div></div><div><div><div><div><div></div><div>SCALE</div></div><div><div>AS SHOWN</div></div></div><div><div><div><div><div></div><div>DRAWN BY</div></div><div><div>KDH</div></div></div><div><div><div><div><div></div><div>CHECKED BY</div></div><div><div>BLM</div></div></div></div></div></div></div><div><div><div><div><div></div><div>PREL-1</div></div><div><div>SHEET 01 OF 02</div></div></div></div></div></div></div></div></div></div></div></div></div></div>		<div><div><div><div><div><div></div><div>MILESTONE RANCH SUBD.</div></div><div><div>LOCATED WITHIN THE NW 1/4 OF THE SE 1/4, AND THE SW 1/4 OF THE NE 1/4 OF SECTION 4, T.4N., R.1W., B.M.</div></div></div></div><div><div><div><div><div></div><div>PRELIMINARY PLAT</div></div></div></div></div></div><div><div><div><div><div><div></div><div>ENGINEERING SOLUTIONS^{LLP}</div></div><div><div>1028 N. ROSARIO STREET, SUITE 100 MERIDIAN, IDAHO 83842 PHONE: (208) 938-0980 FAX: (208) 938-0941</div></div></div></div><div><div><div><div><div><div></div><div>REVISIONS</div></div><table><tr><th>NO.</th><th>DESCRIPTION</th><th>DATE</th><th>BY</th></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr></table><div><div><div><div><div></div><div><small>© 2021 ENGINEERING SOLUTIONS. THE DRAWING OR FILE CONTAINS INFORMATION THAT IS THE PROPERTY OF ENGINEERING SOLUTIONS. ANY REPRODUCTION, IN WHOLE OR IN PART, WITHOUT THE WRITTEN PERMISSION OF ENGINEERING SOLUTIONS IS STRICTLY PROHIBITED.</small></div></div></div></div></div></div></div><div><div><div><div><div><div></div><div>PLANNER</div></div><div><div>BECKY McKay ENGINEERING SOLUTIONS 1028 N. ROSARIO STREET, STE. 100 MERIDIAN, ID 83842 PHONE: (208) 938-0980 FAX: (208) 938-0941 EMAIL: beckym@gengsol.org</div></div></div></div><div><div><div><div><div><div></div><div>SURVEYOR</div></div><div><div>CLINT HANSEN, PLS LAND SOLUTIONS, PC 231 E 5TH STREET, STE A MERIDIAN, ID 83842 PHONE: (208) 288-2507 FAX: (208) 288-2501 EMAIL: chansen@landofsolutions.biz</div></div></div></div><div><div><div><div><div><div></div><div>DEVELOPER</div></div><div><div>TOLL SOUTHWEST, LLC 3103 W. SHERYL DRIVE, STE 100 MERIDIAN, IDAHO 83842 PHONE: (208) 424-0020</div></div></div></div><div><div><div><div><div><div></div><div>OWNERS OF RECORD</div></div><div><div>COROT NANNY FARMS, INC. CAROL M. DIXON AND SANDRA A. DIXON 8542 W. FLOATING FEATHER ROAD STAR, IDAHO 83869</div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div>		NO.	DESCRIPTION	DATE	BY																
NO.	DESCRIPTION	DATE	BY																				



STATE OF IDAHO
DEPARTMENT OF
ENVIRONMENTAL QUALITY

1445 N Orchard Street, Boise, ID 83706
(208) 373-0550

Brad Little, Governor
Jess Byrne, Director

June 11, 2021

By e-mail: Snickel@staridaho.org

City of Star
P.O. Box 130
Star, Idaho 83669

Subject: Milestone Ranch Subdivision, AZ-21-10/DA-21-15/PP-21-14

Dear Mr. Nickel:

Thank you for the opportunity to respond to your request for comment. While DEQ does not review projects on a project-specific basis, we attempt to provide the best review of the information provided. DEQ encourages agencies to review and utilize the Idaho Environmental Guide to assist in addressing project-specific conditions that may apply. This guide can be found at:

<https://www.deq.idaho.gov/public-information/assistance-and-resources/outreach-and-education/>

The following information does not cover every aspect of this project; however, we have the following general comments to use as appropriate:

1. AIR QUALITY

- Please review IDAPA 58.01.01 for all rules on Air Quality, especially those regarding fugitive dust (58.01.01.651), trade waste burning (58.01.01.600-617), and odor control plans (58.01.01.776).
- All property owners, developers, and their contractor(s) must ensure that reasonable controls to prevent fugitive dust from becoming airborne are utilized during all phases of construction activities per IDAPA 58.01.01.651.
- DEQ recommends the city/county require the development and submittal of a dust prevention and control plan for all construction projects prior to final plat approval. Dust prevention and control plans incorporate appropriate best management practices to control fugitive dust that may be generated at sites.
- Citizen complaints received by DEQ regarding fugitive dust from development and construction activities approved by cities or counties will be referred to the city/county to address under their ordinances.

- Per IDAPA 58.01.01.600-617, the open burning of any construction waste is prohibited. The property owner, developer, and their contractor(s) are responsible for ensuring no prohibited open burning occurs during construction.
- For questions, contact David Luft, Air Quality Manager, at (208) 373-0550.

2. WASTEWATER AND RECYCLED WATER

- DEQ recommends verifying that there is adequate sewer to serve this project prior to approval. Please contact the sewer provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.16 and IDAPA 58.01.17 are the sections of Idaho rules regarding wastewater and recycled water. Please review these rules to determine whether this or future projects will require DEQ approval. IDAPA 58.01.03 is the section of Idaho rules regarding subsurface disposal of wastewater. Please review this rule to determine whether this or future projects will require permitting by the district health department.
- All projects for construction or modification of wastewater systems require preconstruction approval. Recycled water projects and subsurface disposal projects require separate permits as well.
- DEQ recommends that projects be served by existing approved wastewater collection systems or a centralized community wastewater system whenever possible. Please contact DEQ to discuss potential for development of a community treatment system along with best management practices for communities to protect ground water.
- DEQ recommends that cities and counties develop and use a comprehensive land use management plan, which includes the impacts of present and future wastewater management in this area. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

3. DRINKING WATER

- DEQ recommends verifying that there is adequate water to serve this project prior to approval. Please contact the water provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.08 is the section of Idaho rules regarding public drinking water systems. Please review these rules to determine whether this or future projects will require DEQ approval.
- All projects for construction or modification of public drinking water systems require preconstruction approval.
- DEQ recommends verifying if the current and/or proposed drinking water system is a regulated public drinking water system (refer to the DEQ website at: deg.idaho.gov/water-quality/drinking-water.aspx). For non-regulated systems, DEQ recommends annual testing for total coliform bacteria, nitrate, and nitrite.

- If any private wells will be included in this project, we recommend that they be tested for total coliform bacteria, nitrate, and nitrite prior to use and retested annually thereafter.
- DEQ recommends using an existing drinking water system whenever possible or construction of a new community drinking water system. Please contact DEQ to discuss this project and to explore options to both best serve the future residents of this development and provide for protection of ground water resources.
- DEQ recommends cities and counties develop and use a comprehensive land use management plan which addresses the present and future needs of this area for adequate, safe, and sustainable drinking water. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

4. SURFACE WATER

- Please contact DEQ to determine whether this project will require a National Pollution Discharge Elimination System (NPDES) Permit. A Construction General Permit from EPA may be required if this project will disturb one or more acres of land, or will disturb less than one acre of land but are part of a common plan of development or sale that will ultimately disturb one or more acres of land.
- If this project is near a source of surface water, DEQ requests that projects incorporate construction best management practices (BMPs) to assist in the protection of Idaho's water resources. Additionally, please contact DEQ to identify BMP alternatives and to determine whether this project is in an area with Total Maximum Daily Load stormwater permit conditions.
- The Idaho Stream Channel Protection Act requires a permit for most stream channel alterations. Please contact the Idaho Department of Water Resources (IDWR), Western Regional Office, at 2735 Airport Way, Boise, or call (208) 334-2190 for more information. Information is also available on the IDWR website at: <https://idwr.idaho.gov/streams/stream-channel-alteration-permits.html>
- The Federal Clean Water Act requires a permit for filling or dredging in waters of the United States. Please contact the US Army Corps of Engineers, Boise Field Office, at 10095 Emerald Street, Boise, or call 208-345-2155 for more information regarding permits.

For questions, contact Lance Holloway, Surface Water Manager, at (208) 373-0550.

5. SOLID WASTE, HAZARDOUS WASTE AND GROUND WATER CONTAMINATION

- **Solid Waste.** No trash or other solid waste shall be buried, burned, or otherwise disposed of at the project site. These disposal methods are regulated by various state regulations including Idaho's Solid Waste Management Regulations and Standards (IDAPA 58.01.06), Rules and Regulations for Hazardous Waste (IDAPA 58.01.05), and Rules and Regulations for the Prevention of Air Pollution (IDAPA 58.01.01). Inert and other approved materials are also defined in the Solid Waste Management Regulations and Standards

- **Hazardous Waste.** The types and number of requirements that must be complied with under the federal Resource Conservation and Recovery Act (RCRA) and the Idaho Rules and Standards for Hazardous Waste (IDAPA 58.01.05) are based on the quantity and type of waste generated. Every business in Idaho is required to track the volume of waste generated, determine whether each type of waste is hazardous, and ensure that all wastes are properly disposed of according to federal, state, and local requirements.
- **Water Quality Standards.** Site activities must comply with the Idaho Water Quality Standards (IDAPA 58.01.02) regarding hazardous and deleterious-materials storage, disposal, or accumulation adjacent to or in the immediate vicinity of state waters (IDAPA 58.01.02.800); and the cleanup and reporting of oil-filled electrical equipment (IDAPA 58.01.02.849); hazardous materials (IDAPA 58.01.02.850); and used-oil and petroleum releases (IDAPA 58.01.02.851 and 852). Petroleum releases must be reported to DEQ in accordance with IDAPA 58.01.02.851.01 and 04. Hazardous material releases to state waters, or to land such that there is likelihood that it will enter state waters, must be reported to DEQ in accordance with IDAPA 58.01.02.850.
- **Ground Water Contamination.** DEQ requests that this project comply with Idaho's Ground Water Quality Rules (IDAPA 58.01.11), which states that "No person shall cause or allow the release, spilling, leaking, emission, discharge, escape, leaching, or disposal of a contaminant into the environment in a manner that causes a ground water quality standard to be exceeded, injures a beneficial use of ground water, or is not in accordance with a permit, consent order or applicable best management practice, best available method or best practical method."

For questions, contact Albert Crawshaw, Waste & Remediation Manager, at (208) 373-0550.

6. ADDITIONAL NOTES

- If an underground storage tank (UST) or an aboveground storage tank (AST) is identified at the site, the site should be evaluated to determine whether the UST is regulated by DEQ. EPA regulates ASTs. UST and AST sites should be assessed to determine whether there is potential soil and ground water contamination. Please call DEQ at (208) 373-0550, or visit the DEQ website <https://www.deq.idaho.gov/waste-management-and-remediation/storage-tanks/leaking-underground-storage-tanks-in-idaho/> for assistance.
- If applicable to this project, DEQ recommends that BMPs be implemented for any of the following conditions: wash water from cleaning vehicles, fertilizers and pesticides, animal facilities, composted waste, and ponds. Please contact DEQ for more information on any of these conditions.

Response to Request for Comment

June 11, 2021

Page 5

We look forward to working with you in a proactive manner to address potential environmental impacts that may be within our regulatory authority. If you have any questions, please contact me, or any of our technical staff at (208) 373-0550.

Sincerely,

A handwritten signature in black ink that reads "Aaron Scheff". The signature is written in a cursive, flowing style.

Aaron Scheff
Regional Administrator
DEQ-Boise Regional Office

EDMS#: 2021AEK106



Ada County Transmittal
Division of Community and Environmental Health

Return to:

- ☐ ACZ
☐ Boise
☐ Eagle
☐ Garden City
☐ Meridian
☐ Kuna
☒ Star

Rezone # _____

Conditional Use # _____

Preliminary / Final / Short Plat PP-21-14

Milestone Ranch

- ☐ 1. We have No Objections to this Proposal.
- ☐ 2. We recommend Denial of this Proposal.
- ☐ 3. Specific knowledge as to the exact type of use must be provided before we can comment on this Proposal.
- ☐ 4. We will require more data concerning soil conditions on this Proposal before we can comment.
- ☐ 5. Before we can comment concerning individual sewage disposal, we will require more data concerning the depth of:
☐ high seasonal ground water ☐ waste flow characteristics
☐ bedrock from original grade ☐ other _____
- ☐ 6. This office may require a study to assess the impact of nutrients and pathogens to receiving ground waters and surface waters.
- ☐ 7. This project shall be reviewed by the Idaho Department of Water Resources concerning well construction and water availability.
- ☒ 8. After written approvals from appropriate entities are submitted, we can approve this proposal for:
☒ central sewage ☐ community sewage system ☐ community water well
☐ interim sewage ☒ central water
☐ individual sewage ☐ individual water
- ☒ 9. The following plan(s) must be submitted to and approved by the Idaho Department of Environmental Quality:
☒ central sewage ☐ community sewage system ☐ community water
☐ sewage dry lines ☒ central water
- ☐ 10. This Department would recommend deferral until high seasonal ground water can be determined if other considerations indicate approval.
- ☐ 11. If restroom facilities are to be installed, then a sewage system MUST be installed to meet Idaho State Sewage Regulations.
- ☐ 12. We will require plans be submitted for a plan review for any:
☐ food establishment ☐ swimming pools or spas ☐ child care center
☐ beverage establishment ☐ grocery store
- ☒ 13. Infiltration beds for storm water disposal are considered shallow injection wells. An application and fee must be submitted to CDH.
- ☐ 14. _____

Reviewed By: Rowley

Date: 6 / 10 / 2021

Communities in Motion 2040 2.0 Development Review

The Community Planning Association of Southwest Idaho (COMPASS) is the metropolitan planning organization (MPO) for Ada and Canyon Counties. COMPASS has developed this review as a tool for local governments to evaluate whether land developments are consistent with the goals of *Communities in Motion 2040 2.0* (CIM 2040), the regional long-range transportation plan for Ada and Canyon Counties. This checklist is not intended to be prescriptive, but rather a guidance document based on CIM 2040 2.0 goals.

Development Name: Milestone Ranch






Agency: Star

CIM Vision Category: Future Neighborhoods

New households: 284

New jobs: 0

Exceeds CIM forecast: No

	CIM Corridor: Highway 16 Pedestrian level of stress: R Bicycle level of stress: R	Level of Stress considers facility type, number of vehicle lanes, and speed. Roads with G or PG ratings better support bicyclists and pedestrians of all ages and comfort levels.
	Housing within 1 mile: 160 Jobs within 1 mile: 190 Jobs/Housing Ratio: 1.2	A good jobs/housing balance – a ratio between 1 and 1.5 – reduces traffic congestion. Higher numbers indicate the need for more housing and lower numbers indicate an employment need.
	Nearest police station: 3.1 miles Nearest fire station: 3.1 miles	Developments within 1.5 miles of police and fire stations ensure that emergency services are more efficient and reduce the cost of these important public services.
	Farmland consumed: Yes Farmland within 1 mile: 1,199 acres	Farmland contributes to the local economy, creates additional jobs, and provides food security to the region. Development in farm areas decreases the productivity and sustainability of farmland.
	Nearest bus stop: >4 miles Nearest public school: 1.4 miles Nearest public park: 2.4 miles Nearest grocery store: >4 miles	Residents who live or work less than ½ mile from critical services have more transportation choices. Walking and biking reduces congestion by taking cars off the road, while supporting a healthy and active lifestyle.

Recommendations

State Highway 16 is the #4 priority in the Communities in Motion 2040 2.0 plan. State Highway 16 serves as the main commuter route from Gem County to the Treasure Valley. Idaho Transportation Department has programmed funding for preliminary engineering and right-of-way acquisition on SH-16 between I-84 and US 20/26 (FY2021- 2027 Regional Transportation Improvement Program Key Number 20788). Current documents show construction as unfunded; however, ITD now has State funding for construction of Phase 2, which will build the entire corridor with at-grade intersections. The construction funds are expected to be added to the programs this fall. Design for Phase 3, is currently proposed in an August 2021 Amendment, which would design the interchanges for this segment; however, funding is not yet available to construct the interchanges. More information about the Highway 16 a limited access highway available at: https://itd.idaho.gov/wp-content/uploads/2018/02/ID-16_plan_Exhibit-180108.pdf. Consider a pedestrian pathway to the west to enable future pedestrian connectivity to the property owned by the West Ada School District.

More information about COMPASS and *Communities in Motion 2040 2.0*:

Web: www.compassidaho.org

Email info@compassidaho.org

More information about the development review process:

<http://www.compassidaho.org/dashboard/devreview.htm>

Roadway and ADA Improvements, Part 3, Boise Area – FY2027

Regionally Significant: ☐

☒ Inflated

COMPASS PM:

Federal PM:

Key # : 22927

Maintenance

Requesting Agency: ACHD

Project Year: 2027

Total Previous Expenditures: \$0

Total Programmed Cost: \$387

Total Cost (Prev. + Prog.): \$387

Project Description : Supplement the local pavement preservation program to complete pavement improvements on federal-aid roadways in the Boise Urbanized Area. Work includes improvements to adjoining sidewalks to meet American's with Disabilities Act (ADA) requirements. This project could convert to federal-aid if funds become available. Segments will be determined prior to the obligation in the the design year.



Funding Source		Local Participating		Program			Local Match		100.00%
Cost Year*	Preliminary Engineering	Preliminary Engineering Consulting	Right-of-Way	Utilities	Construction Engineering	Construction	Total	Federal Share	Local Share
2025	5	76	0	0	0	0	81	0	81
2027	0	0	0	0	0	306	306	0	306
Fund Totals:	\$5	\$76	\$0	\$0	\$0	\$306	\$387	\$0	\$387

SH-16, I-84 to US 20/26 and SH-44, Ada and Canyon Counties

Regionally Significant: ☒

☒ Inflated

COMPASS PM:

Federal PM:

Key # : 20788

Support

Requesting Agency: ITD

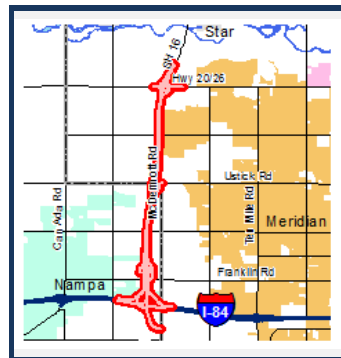
Project Year: 2019-2021

Total Previous Expenditures: \$91,140

Total Programmed Cost: \$7,500

Total Cost (Prev. + Prog.): \$98,640

Project Description : Preliminary engineering and right-of-way acquisition only on State Highway 16 between Interstate 84 and US Highway 20/26 (Chinden Boulevard) and State Highway 44 (State Street) in Ada and Canyon Counties. Funds will be used to update the environmental re-evaluation, preliminary design through final design, and right-of-way acquisition. (Right-of-way is partially funded and construction is considered "unfunded.")



Funding Source		IM		Program			Local Match		7.34%
Cost Year*	Preliminary Engineering	Preliminary Engineering Consulting	Right-of-Way	Utilities	Construction Engineering	Construction	Total	Federal Share	Local Share
2021	0	0	7,500	0	0	0	7,500	6,950	551
Fund Totals:	\$0	\$0	\$7,500	\$0	\$0	\$0	\$7,500	\$6,950	\$551

**Project/File: Milestone Ranch/ SPP21-0011/ PP-21-14/ AZ-21-10/ DA-21-15**

This is an annexation, a rezone, and a preliminary plat application to allow for the development of a 317-lot senior living community on 71-acres. The site is located at the northwest corner of SH-16 and Floating Feather Road.

Lead Agency: City of Star

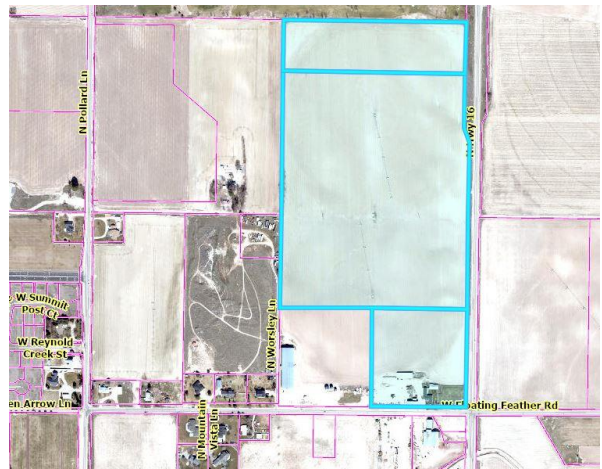
Site address: 8542 W. Floating Feather Road

Staff Approval: August 31, 2021

Applicant: Adam Capell
Toll Southwest, LLC
3103 W. Sheryl Drive, Suite 101
Meridian, ID 83616

Representative: Becky McKay
Engineering Solutions, Inc.
1029 N. Rosario Street, Suite 100
Meridian, ID 83642

Staff Contact: Dawn Battles
Phone: 387-6218
E-mail: dbattles@achdidaho.org



A. Findings of Fact

- Description of Application:** The applicant is requesting approval of annexation and rezone of 11 acres from RUT (Rural-Urban Transition) to R-5-DA (Residential) and a rezone of 60 acres from MU (Mixed Use) to R-5-DA (Residential) and a preliminary plat to allow for the development of 317 lots for a senior living community consisting of 240 residential lots, 44 duplex lots and 33 common lots. This application also includes a development agreement with the City of Star. The existing home and 2 outbuildings are proposed to be removed.

The applicant's rezone request is consistent with the City of Star's future land use map which designates this area at Compact Residential.

- Description of Adjacent Surrounding Area:**

Direction	Land Use	Zoning
North	Residential	R-2
South	Rural Urban Transition (Ada County) & Estate Residential (Ada County)	RUT & R1
East	Residential	R-2-DA
West	Rural-Urban Transition (Ada County) & Residential	RUT & R-4

3. **Site History:** ACHD staff previously reviewed a portion of this site as STAR18-0004/ AZ-18-05 for an annexation and rezone in May 2018. The requirements of this staff report have been updated to reflect current policies and site plan.
4. **Adjacent Development:** The following developments are pending or underway in the vicinity of the site:
 - Arvory Crest, a 247 lot subdivision consisting of 231 residential lots and 16 common lots, located southeast of the site was approved by ACHD in June 2021.
 - Terra View, a 435 lot mixed use subdivision consisting of 396 residential lots, 3 commercial lots and 36 common lots, located northeast of the site was approved by ACHD in June 2021.
 - Treasure Valley Chevron, a 6,600 square foot convenience market/gas station located at the southeast corner of Beacon Light Road and SH-16, northeast of the site was approved by ACHD in May 2021.
 - Rosti Farms, a 493 lot subdivision consisting of 426 residential lots, 7 commercial lots and 60 common lots, located south of the site was approved by ACHD in June 2020.
 - Snoqualmie Basin Subdivision, a multi-phase development with 284 residential lots and 41 common lots, located southeast of the site was approved by ACHD in 2018 and 2019 for the different phases.
 - Iron Mountain Estates, a 49 lot subdivision consisting of 43 residential lots and 6 common lots, located west of the site was approved by ACHD in May 2019.
5. **Transit:** Transit services are not available to serve this site.
6. **Pathway Crossings:** United States Access Board R304.5.1.2 Shared Use Paths. In shared use paths, the width of curb ramps runs and blended transitions shall be equal to the width of the shared use path.

AASHTO's Guidelines for the Development of Bicycle Facilities 5.3.5 Other Intersection Treatments: The opening of a shared use path at the roadway should be at least the same width as the shared use path itself. If a curb ramp is provided, the ramp should be the full width of the path, not including any flared sides if utilized. . . . Detectable warnings should be placed across the full width of the ramp.

FHWA's "Designing Sidewalks and Trails for Access" (1999) reflected common ADA-related concepts: Chapter 6, Page 16-6: The width of the ramp should be at least as wide as the average width of the trail to improve safety for users who will be traveling at various speeds. In addition, the overall width of the trail should be increased, so the curb ramp can be slightly offset to the side. The increased width reduces conflict at the intersection by providing more space for users at the bottom of the ramp.
7. **New Center Lane Miles:** The proposed development includes 2.2 centerline miles of new public road.
8. **Impact Fees:** There will be an impact fee that is assessed and due prior to issuance of any building permits. The assessed impact fee will be based on the impact fee ordinance that is in effect at that time. The impact fee assessment will not be released until the civil plans are approved by ACHD.
9. **Capital Improvements Plan (CIP)/ Integrated Five Year Work Plan (IFYWP):**
 - Pollard Lane is scheduled in the IFYWP for the construction of a 7-foot wide pathway on the west side of Pollard Lane from Floating Feather Road to Star Middle School in 2023.

- Floating Feather Road is listed in the CIP to be constructed as a new 3-lane roadway from Plummer Road to State Highway 16 between 2036 and 2040.
- Floating Feather Road is listed in the CIP to be constructed as a new 3-lane roadway from State Highway 16 to Palmer Lane between 2036 and 2040.
- The intersection of Beacon Light Road and Emmett Highway (SH-16) is listed in the CIP to be widened to 4-lanes on the north leg, 4-lanes on the south, 4-lanes on the east, and 4-lanes on the west leg, and replace/modify the signal between 2036 and 2040.

- 10. Roadways to Bikeways Master Plan:** ACHD's Roadways to Bikeways Master Plan (BMP) was adopted by the ACHD Commission in May of 2009 and was update in 2018. The plan seeks to implement the Planned Bicycle Network to support bicycling as a viable transportation option for Ada County residents with a wide range of ages and abilities, maintain bicycle routes in a state of good repair in order to ensure they are consistently available for use, promote awareness of existing bicycle routes and features and support encouragement programs and to facilitate coordination and cooperation among local jurisdictions in implementing the Roadways to Bikeways Plan recommendations.

The BMP identifies Floating Feather Road west of Pollard Lane and the Floating Feather Road Realignment portion as Level 3 facilities and Pollard Lane as Level 2 and Level 3 facilities that will be constructed as part of a future ACHD project.

B. Traffic Findings for Consideration

- 1. Trip Generation:** This development is estimated to generate 1,388 additional vehicle trips per day (9 existing); 107 additional vehicle trips per hour in the PM peak hour (1 existing), based on the traffic impact study.
- 2. Traffic Impact Study**
Kittelson & Associates prepared a traffic impact study for the proposed Milestone Ranch Subdivision (formerly Hoot Nanney Development). The executive summary of the findings **as presented by Kittelson & Associates** can be found as Attachment 3. ACHD has reviewed the submitted traffic impact study for consistency with ACHD policies and practices and may have additional requirements beyond what is noted in the summary. ACHD Staff comments on the submitted traffic impact study can be found below under staff comments.



- Study Intersections

(X) - Site Accesses

a. Policy:

Mitigation Proposals: Mitigation recommendations shall be provided within the report. At a minimum, for each roadway segment and intersection that does not meet the minimum acceptable level of service planning threshold or v/c ratio, the report must discuss feasible measures to avoid or reduce the impact to the system. To be considered adequate, measures should be specific and feasible. Mitigation may also include:

- Revision to the Phasing Plan to coincide with the District's planning Capital Projects.
- Reducing the scope and/or scale of the project.

Alternative Mitigation Measures: 7106.7.3 states that if traditional mitigation measures such as roadway widening and intersection improvements are infeasible as determined by ACHD, the TIS may recommend alternative mitigation measures. Alternative mitigation measures shall demonstrate that impacts from the project will be offset.

- If the impacted roadway segments and/or intersections are programmed as funded in the Integrated Five Year Work Plan (IFYWP) or the Capital Improvements Plan (CIP); no alternative mitigation is required.
- If the impacted roadway segments and/or intersections are not programmed in either the IFYWP or the CIP; the applicant may (i) analyze the shoulder hour and (ii) provide a safety analysis to determine alternative mitigation requirements.
 - If the impacted roadway segments and intersections meet the minimum acceptable level of service planning thresholds in the shoulder hour the applicant may suggest feasible alternative mitigation such as: sidewalks, bike facilities,

connectivity, safety improvements, etc. within 1.5 miles of the proposed development.

- If the shoulder hour planning thresholds are exceeded the applicant may request to enter into a Development Agreement and pay into the Priority Corridor Fund an amount determined by the ACHD to offset impacts from the project.
- Alternative Mitigation may also include:
 - Revision to the Phasing Plan to coincide with the District's future Capital Projects.
 - Reducing the scope and/or scale of the project.

Level of Service Planning Thresholds: District Policy 7206.4.1 states that, Level of Service Planning Thresholds have been established for principal arterials and minor arterials within ACHD's Capital Improvement Plan and are also listed in section 7106. Unless otherwise required to provide a Traffic Impact Study under section 7106, a proposed development with site traffic less than 10% of the existing downstream roadway or intersection peak hour traffic shall not be required to provide mitigation for a roadway or intersection that currently exceeds the minimum acceptable level of service planning threshold or V/C ratio

- b. Staff Comments/Recommendations:** The TIS indicates that the roadway segment and intersections in the study area are expected to operate at an acceptable level of service planning threshold during the AM and PM peak hours under existing traffic, 2026 background traffic and total traffic conditions with the exception of SH-16/Floating Feather Road intersection.

Additionally, the TIS indicates that the roadway segment and intersections in the study area are expected to operate at an acceptable level of service planning threshold during the AM and PM peak hours under 2026 total traffic conditions with the realignment of Floating Feather Road constructed south of the site and restricted to right-in/right-out/left-in only and disconnecting the existing Floating Feather Road from SH-16 at the west leg of the intersection, except for SH-16/Existing Floating Feather Road intersection.

The TIS recommends mitigation measures for the SH-16/Floating Feather intersection to mitigate the existing traffic conditions, 2026 background and total traffic conditions. The percentage of site generated traffic under total traffic conditions (2026) in the PM peak hour is provided in parenthesis.

Intersection:

- SH-16/ Existing Floating Feather Road (5%)
 - Westbound approach (PM peak hour) under existing traffic conditions
 - Eastbound and westbound approaches (PM peak hour) under 2026 background traffic conditions
 - Eastbound and westbound approaches (AM and PM peak hour) under 2026 total traffic conditions with existing Floating Feather Road remaining connected to SH-16 (Scenario 1)
 - Westbound left and right (PM peak hour) under 2026 total traffic conditions with Floating Feather Road Realignment restricted to right-in/right out/left-in and disconnecting existing Floating Feather Road from SH-16 at the west leg of the intersection (Scenario 2)

- Restrict to right-in/right-out/left-in only for existing, 2026 background and 2026 total traffic conditions

Consistent with ACHD policy, a signal warrant analysis was completed for the intersection. The intersection analysis found that the intersection meets the 8 hour, 4 hour and peak hour warrants. Although the intersection meets signal warrants, ITD plans to keep SH-16/Floating Feather Road an unsignalized intersection. The TIS assumed for 2026 background and total traffic conditions that the Floating Feather Road Realignment intersection would be restricted to right-in/right-out/left-in, as required by ITD as part of the Rosti Farms Development which is located on the west side of SH-16 and south of the site. With the right-in/right-out/left-in restriction, the intersection is expected to operate at an acceptable level of service planning threshold in the AM and PM peak hours for existing traffic conditions and 2026 background traffic for Scenario 2 referenced above. While under 2026 total traffic the intersection will operate at a LOS F in the PM peak hour (westbound left and right) the v/c ratio for the critical movements are anticipated to be 0.42 in the PM peak hour, well below ACHD's acceptable level of service planning threshold which requires a v/c ratio of less than 0.90. The restriction of the existing Floating Feather Road to left-in/right-in/right-out will increase traffic on other area ACHD roadways including Beacon Light Road. In addition, the proposed site traffic at this intersection will be less than 10% of the 2026 total traffic. Therefore, consistent with District policy 7205.3.1 Level of Service Planning Threshold, which states, a proposed development with site traffic less than 10% of the existing downstream roadway or intersection peak hour traffic shall not be required to provide mitigation; no improvements are required at this intersection.

See Findings for Consideration 2 for ITD's comments on this intersection.

Site Access Evaluation

- Site Access A, on Floating Feather Road, a proposed local street to be located 660-feet west of SH-16 and 675-feet east of Worsley Lane, a private road. The TIS notes this street is anticipated to operate acceptably as a full access and is needed to serve the site as it is the only proposed site access. Staff recommends approval of the location of the local street as it meets District policy.

3. Condition of Area Roadways

Traffic Count is based on Vehicles per hour (VPH)

Roadway	Frontage	Functional Classification	PM Peak Hour Traffic Count	PM Peak Hour Level of Service
**State Highway 16 Emmett Highway	2,629-feet	Arterial	772	N/A
Floating Feather Road	656-feet	Collector	100	Better than "D"

* Acceptable level of service for a two-lane collector is "D" (425 VPH).

** ACHD does not set level of service thresholds for State Highways.

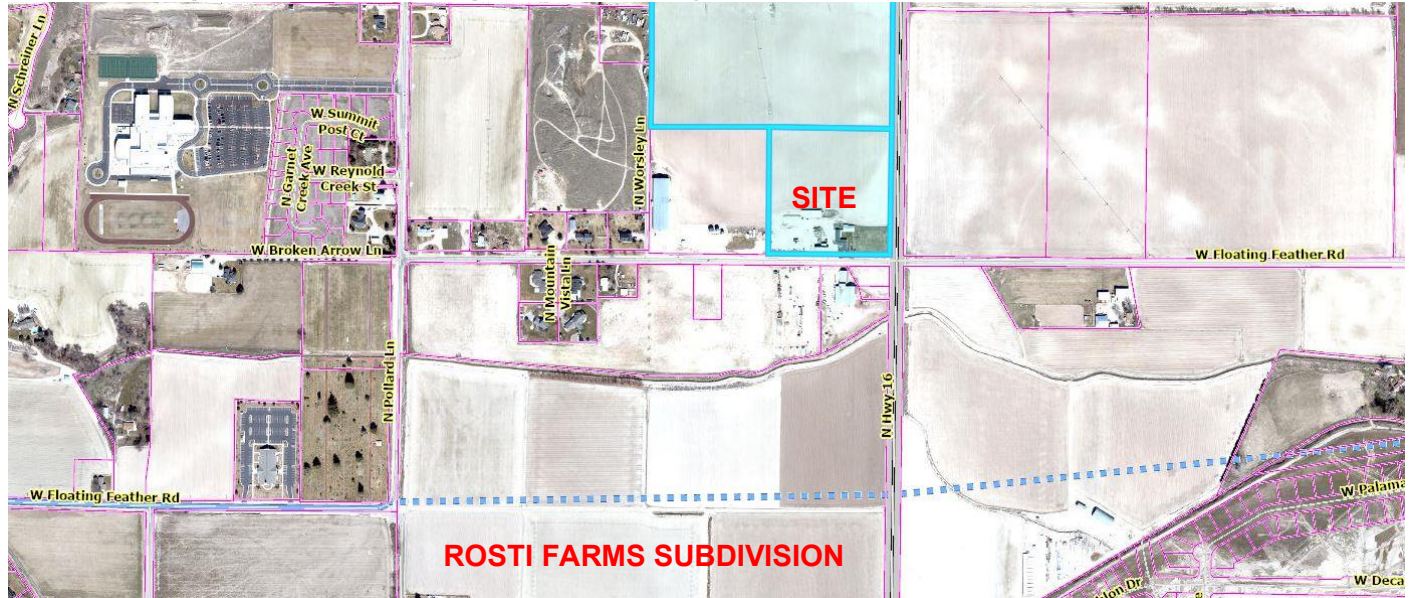
4. Average Daily Traffic Count (VDT)

Average daily traffic counts are based on ACHD's most current traffic counts.

- The average daily traffic count for SH-16 north of SH-44 was 12,911 on April 5, 2018.
- The average daily traffic count for Floating Feather Road east of Pollard Lane was 1,729 on March 2, 2021.

C. Findings for Consideration

1. Floating Feather Re-alignment Study



Adopted by the ACHD Commission in 2008, the Floating Feather Re-alignment Study established the preferred re-alignment of Floating Feather Road from Lanewood Road to Can-Ada Road, eliminating the “stair step” effect at Palmer Lane and Pollard Lane. The approved re-alignment of Floating Feather Road is shown on ACHD’s Master Street Map (MSM), the blue dashed lines, and is listed in the Capital Improvements Plan (CIP). The re-alignment of Floating Feather Road from Pollard Lane to SH-16 is currently under construction as part of the Rosti Farms Subdivision located south of the site, as a 3-lane minor arterial roadway.

2. State Highway SH-16 /Emmett Highway

SH-16 is under the jurisdiction of the Idaho Transportation Department (ITD). The applicant, City of Star, and ITD should work together to determine if additional right-of-way or improvements are necessary on SH-16.

Staff Comments/Recommendations: On June 17, 2021 ITD issued a comment letter on the traffic impact study prepared for Milestone Ranch (formerly Hoot Nanney Development), see Attachment 4.

ITD has requested that the City of Star require the developer to pay their proportionate share of \$39,222 for the SH-16/Floating Feather intersection for the following future improvements and mitigation required as part of the TIS:

- Restricting the existing intersection of SH-16/Floating Feather Road to right-in/right-out/left-in only
- Addition of dedicated northbound and southbound turn lanes on SH-16
- Extending the existing northbound and southbound left turn lanes on SH-16 to meet current ITD standards

3. Floating Feather Road

a. **Existing Conditions:** Floating Feather Road is improved with 2-travel lanes, 24-feet of pavement and no curb, gutter or sidewalk abutting the site. There is 60-feet of right-of-way for Floating Feather Road (33-feet from centerline).

b. Policy:

Collector Street Policy: District policy 7206.2.1 states that the developer is responsible for improving all collector frontages adjacent to the site or internal to the development as required below, regardless of whether access is taken to all of the adjacent streets.

Master Street Map and Typologies Policy: District policy 7206.5 states that if the collector street is designated with a typology on the Master Street Map, that typology shall be considered for the required street improvements. If there is no typology listed in the Master Street Map, then standard street sections shall serve as the default.

Street Section and Right-of-Way Policy: District policy 7206.5.2 states that the standard right-of-way width for collector streets shall typically be 50 to 70-feet, depending on the location and width of the sidewalk and the location and use of the roadway. The right-of-way width may be reduced, with District approval, if the sidewalk is located within an easement; in which case the District will require a minimum right-of-way width that extends 2-feet behind the back-of-curb on each side.

The standard street section shall be 46-feet (back-of-curb to back-of-curb). This width typically accommodates a single travel lane in each direction, a continuous center left-turn lane, and bike lanes.

Residential Collector Policy: District policy 7206.5.2 states that the standard street section for a collector in a residential area shall be 36-feet (back-of-curb to back-of-curb). The District will consider a 33-foot or 29-foot street section with written fire department approval and taking into consideration the needs of the adjacent land use, the projected volumes, the need for bicycle lanes, and on-street parking.

Sidewalk Policy: District policy 7206.5.6 requires a concrete sidewalk at least 5-feet wide to be constructed on both sides of all collector streets. A parkway strip at least 6-feet wide between the back-of-curb and street edge of the sidewalk is required to provide increased safety and protection of pedestrians. Consult the District's planter width policy if trees are to be placed within the parkway strip. Sidewalks constructed next to the back-of-curb shall be a minimum of 7-feet wide.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

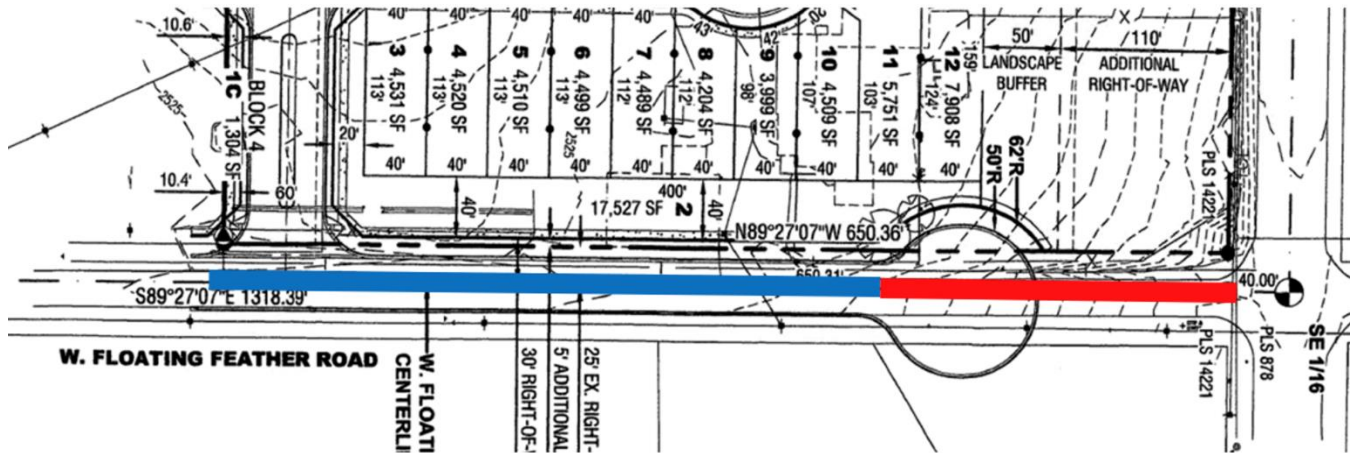
ACHD Master Street Map: ACHD Policy Section 3111.1 requires the Master Street Map (MSM) guide the right-of-way acquisition, collector street requirements, and specific roadway features required through development. This segment of Floating Feather Road is designated in the MSM as a Residential Collector with 2-lanes and on-street bike lanes, a 36-foot street section within 54-feet of right-of-way.

c. Applicant Proposal: The applicant is proposing to dedicate right-of-way to total 30-feet from centerline of Floating Feather Road abutting the site.

The applicant is proposing to improve Floating Feather Road with 17-feet of pavement and 5-foot wide detached concrete sidewalk.

d. Staff Comments/Recommendations: The applicant's proposal does not meet District policy and is not consistent with the Master Street Map and should not be approved, as proposed.

Due to the current construction of the Floating Feather Road Realignment located south of the site as part of the Rosti Farms Subdivision and consistent with ACHD policy, staff recommends that the applicant be required to construct Floating Feather Road as ½ of a 36-foot wide collector street section with vertical curb, gutter and 5-foot wide detached or 7-foot wide attached concrete sidewalk abutting the site and to extend from the site's west property line east and abutting a portion of Lot 11 Block 4, as depicted in blue, dedicate right-of-way for the cul-de-sac from centerline of Floating Feather Road and provide a road trust deposit in the amount of \$13,800 for the future construction of the cul-de-sac, and to not construct improvements for the remaining portion of Floating Feather Road, depicted in red, as this section of Floating Feather



Road will be terminated with the construction of a cul-de-sac turnaround and disconnected from SH-16 as part of a future ACHD project. The applicant should be required to dedicate right-of-way to 2-feet behind back of sidewalk abutting the site. For detached sidewalk the applicant may reduce the right-of-way width to 2-feet behind back of curb and provide a permanent right-of-way easement that extends from the right-of-way line to 2-feet behind back of sidewalk.

4. Internal Local Streets

a. **Existing Conditions:** There are no local streets within the site.

b. **Policy:**

Local Roadway Policy: District Policy 7207.2.1 states that the developer is responsible for improving all local street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets.

Street Section and Right-of-Way Policy: District Policy 7207.5 states that right-of-way widths for all local streets shall generally not be less than 47-feet wide and that the standard street section shall be 33-feet (back-of-curb to back-of-curb).

Standard Urban Local Street—33-foot Street Section and Right-of-way Policy: District Policy 7207.5.2 states that the standard street section shall be 33-feet (back-of-curb to back-of-curb) for developments with any buildable lot that is less than 1 acre in size. This street section shall include curb, gutter, and minimum 5-foot wide concrete sidewalks on both sides and shall typically be constructed within 47-feet of right-of-way.

For the City of Kuna and City of Star: Unless otherwise approved by Kuna or Star, the standard street section shall be 36-feet (back-of-curb to back-of-curb) for developments with any buildable lot that is less than 1 acre in size. This street section shall include curb, gutter, and minimum 5-foot wide concrete sidewalks on both sides and shall typically be constructed within 50-feet of right-of-way.

Continuation of Streets Policy: District Policy 7207.2.4 states that an existing street, or a street in an approved preliminary plat, which ends at a boundary of a proposed development

shall be extended in that development. The extension shall include provisions for continuation of storm drainage facilities. Benefits of connectivity include but are not limited to the following:

- Reduces vehicle miles traveled.
- Increases pedestrian and bicycle connectivity.
- Increases access for emergency services.
- Reduces need for additional access points to the arterial street system.
- Promotes the efficient delivery of services including trash, mail and deliveries.
- Promotes appropriate intra-neighborhood traffic circulation to schools, parks, neighborhood commercial centers, transit stops, etc.
- Promotes orderly development.

Sidewalk Policy: District Policy 7207.5.7 states that five-foot wide concrete sidewalk is required on both sides of all local street, except those in rural developments with net densities of one dwelling unit per 1.0 acre or less, or in hillside conditions where there is no direct lot frontage, in which case a sidewalk shall be constructed along one side of the street. Some local jurisdictions may require wider sidewalks.

The sidewalk may be placed next to the back-of-curb. Where feasible, a parkway strip at least 8-feet wide between the back-of-curb and the street edge of the sidewalk is recommended to provide increased safety and protection of pedestrians and to allow for the planting of trees in accordance with the District's Tree Planting Policy. If no trees are to be planted in the parkway strip, the applicant may submit a request to the District, with justification, to reduce the width of the parkway strip.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

Cul-de-sac Streets Policy: District policy 7207.5.8 requires cul-de-sacs to be constructed to provide a minimum turning radius of 50-feet; in rural areas or for temporary cul-de-sacs the emergency service providers may require a greater radius. Landscape and parking islands may be constructed in turnarounds if a minimum 29-foot street section is constructed around the island. The pavement width shall be sufficient to allow the turning around of a standard AASHTO SU design vehicle without backing. The developer shall provide written approval from the appropriate fire department for this design element.

The District will consider alternatives to the standard cul-de-sac turnaround on a case-by-case basis. This will be based on turning area, drainage, maintenance considerations and the written approval of the agency providing emergency fire service for the area where the development is located.

Landscape Medians Policy: District policy 7207.5.16 states that landscape medians are permissible where adequate pavement width is provided on each side of the median to accommodate the travel lanes and where the following is provided:

- The median is platted as right-of-way owned by ACHD.
- The width of an island near an intersection is 12-feet maximum for a minimum distance of 150-feet. Beyond the 150-feet, the island may increase to a maximum width of 30-feet.

- At an intersection that is signalized or is to be signalized in the future, the median width shall be reduced to accommodate the necessary turn lane storage and tapers.
- The Developer or Homeowners Association shall apply for a license agreement if landscaping is to be placed within these medians.
- The license agreement shall contain the District's requirements of the developer including, but not limited to, a "hold harmless" clause; requirements for maintenance by the developer; liability insurance requirements; and restrictions.
- Vertical curbs are required around the perimeter of any raised median. Gutters shall slope away from the curb to prevent ponding.

c. Applicant's Proposal: The applicant is proposing to construct the entrance roadway, Milestone Avenue, from Floating Feather Road north through the site to intersect Stillmore Street with two 21-foot wide travel lanes, five 10-foot wide center landscape islands, vertical curb, gutter, an 8-foot wide planter strip within 60-feet of right-of-way and 5-foot wide detached concrete sidewalk located outside of the right-of-way.

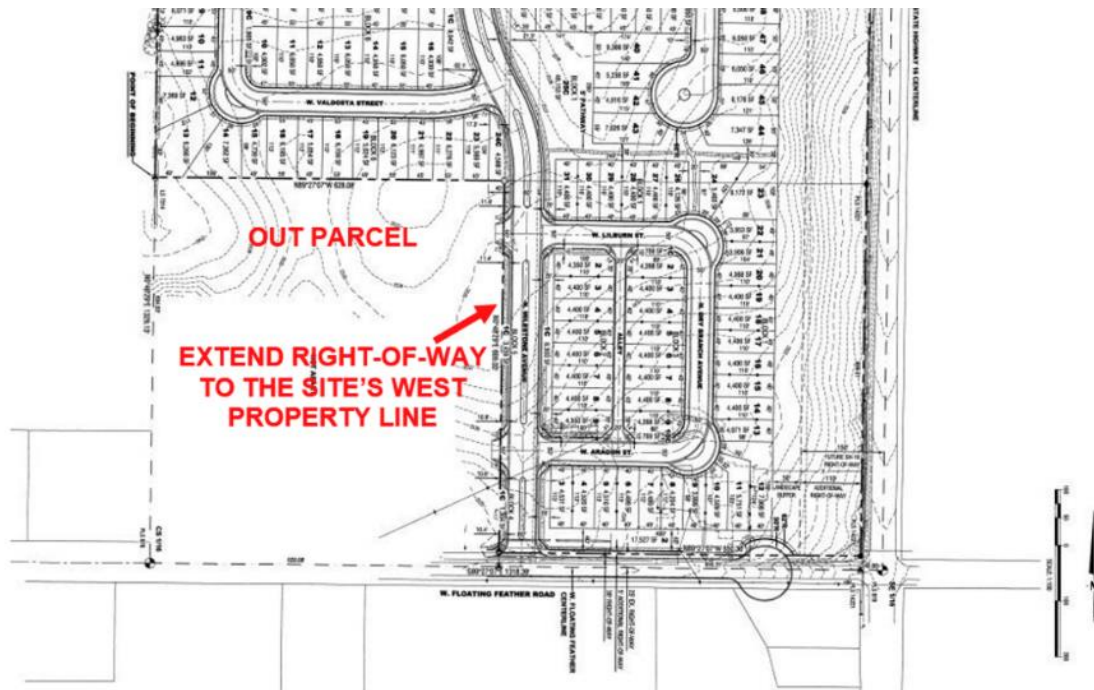
The applicant is proposing to construct the internal local streets as 36-foot wide street sections with rolled curb, gutter and an 8-foot wide planter strip within 50-feet of right-of-way and 5-foot wide detached concrete sidewalk located outside of the right-of-way. Provide a permanent right-of-way easement to 2-feet behind back of sidewalk for any sidewalk placed outside of the dedicated right-of-way. If the sidewalk is detached, then the right-of-way should extend a minimum of 2-feet behind the back of curb.

The applicant is proposing to construct a cul-de-sac at the terminus of Dry Branch Place.

The applicant is proposing to construct 5 knuckles.

d. Staff Comments/Recommendations: The applicant should be required to construct the entrance roadway, Milestone Avenue, from Floating Feather Road north through the site to intersect Stillmore Street with two 21-foot wide travel lanes, a maximum 12-foot wide center landscape island for a minimum distance of 150-feet, the additional landscape islands may increase to a maximum width of 30-feet wide beyond the 150-feet, vertical curb, gutter, an 8-foot wide planter strip within 60-feet of right-of-way and 5-foot wide detached concrete sidewalk located outside of the right-of-way. For detached sidewalk the applicant may reduce the right-of-way width to 2-feet behind back of curb and provide a permanent right-of-way easement that extends from the right-of-way line to 2-feet behind back of sidewalk. The center islands should be platted as right-of-way owned by ACHD. The applicant or homeowner's association should enter into a license agreement for any landscaping proposed within the island.

The applicant should extend the right-of-way for the entrance roadway, Milestone Avenue, to the site's west property line to ensure that the out parcel, depicted below, has access to a local street and enter into a license agreement for any landscaping located within the right-of-way.



The applicant's proposal meets District policy for the proposed 36-foot wide street sections. For detached sidewalk the applicant may reduce the right-of-way width to 2-feet behind back of curb and provide a permanent right-of-way easement that extends from the right-of-way line to 2-feet behind back of sidewalk.

The applicant should be required to construct the proposed cul-de-sac with a minimum turning radius of 50-feet at the terminus of Dry Branch Place.

The applicant's proposal to construct 5 knuckles meets District policy and should be approved, as proposed.

5. Alleys

a. **Existing Conditions:** There are no alleys within the site.

b. **Policy:**

Alley Access: District Policy 7210.1 states that an alley may serve as the primary vehicular access to a lot or building, but an alley should not provide the sole public right-of-way frontage. A lot served by an alley shall also have public street frontage.

New Alley Policy: District Policy 7210.3.1 requires the minimum right-of-way width for all new residential alleys shall be a minimum of 16-feet or a maximum of 20-feet. If the residential alley is 16-feet in width building setbacks required by the land use agency having jurisdiction shall provide sufficient space for the safe backing of vehicles into the alley (see Section 7210.3.3). The minimum right-of-way width for all new commercial or mixed-use alleys shall be 20-feet. All alleys shall be improved by paving the full width and length of the right-of-way.

Dedication of clear title to the right-of-way and the improvement of the alley, and acceptance of the improvement by the District as meeting its construction standards, are required for all alleys contained in a proposed development.

Alley Length Policy: District Policy 7210.3.2 states that alleys shall be no longer than 700-feet in length. If the lead land use agency having jurisdiction requires a shorter block length, the alley shall be no longer than the agency's required block length.

Alley Parking & Setbacks Policy: District Policy 7210.3.3 states that parking within the alley right-of-way is prohibited. “No Parking” signs are required to be installed by the developer. The signs should be located at the alley/street intersections. Parking which is entered from the alley shall be designed so the minimum clear distance from the back of the parking stall to the opposite side of the alley is 20-feet for all perpendicular parking.

Setbacks for structures taking access from the alley should be closely coordinated with the lead land use agency. The setbacks shall either discourage parking within the alley (where it may partially block or occur within the right-of-way) or allow adequate area for one perpendicular parking pad. In order to discourage parking, building setbacks shall be minimal from the alley right-of-way line, while still achieving the required 20-feet of back-up space from a garage or other parking structure to the opposite side of the alley (i.e. 4-foot setback + 16-foot alley= 20-feet for back-up space).

Alley Intersections and Offsets Policy: District policy 7210.3.7 states that alleys should intersect public streets at each end. In specific circumstances as outlined in the policies below, the District may consider allowing an alley to intersect a public street at only one end. A 90-degree angle of intersection shall be designed where practical. In no case shall the intersecting angle be less than 75-degrees, as measured from centerline of intersecting street. An access to an alley shall be located a minimum of 50-feet from the nearest street (measured centerline to centerline).

Alley/Local Street Intersections Policy: District Policy 7210.3.7.2 states that alleys may intersect all types of local streets including minor local streets. Alleys shall generally be designed with a curb cut type approach when intersecting a local street. Alleys shall generally intersect streets in the middle of the block equally offsetting the intersecting streets. Alleys shall either align with alley/street intersections or provide a minimum 100-foot offset (measured centerline to centerline) from other local street intersections. For alley intersections with local streets, the District may consider a reduced offset if the lead land use agency’s required lot size allows for shorter buildable lots.

c. **Applicant Proposal:** The applicant is proposing to construct five 20-foot wide public alleys that run north/south located as follows:

- An alley between Lilburn Street and Aragon Street
- Two alleys between Stock Bridge Street and Sugar Hill Street
- Two alleys between Fannin Street and Stillmore Street

d. **Staff Comments/Recommendations:** The applicant’s proposal to construct a 20-foot wide public alley that runs north/south between Lilburn Street and Aragon Street meets District policy and should be approved as proposed.

The applicant’s proposal to construct the other four 20-foot wide alleys that run north/south do not meet District Alley Access policy which does not allow an alley to provide the sole public right-of-way frontage to a lot or building. The building lots that access the proposed alleys do not have frontage onto a public street. Therefore, the applicant should be required to construct the following four alleys as private alleys:

- Two alleys between Stock Bridge Street and Sugar Hill Street
- Two alleys between Fannin Street and Stillmore Street

6. Roadway Offsets

a. **Existing Conditions:** There are no roadways within the site.

b. Policy:

Local Street Intersection Spacing on Minor Arterials: District policy 7205.4.3 states that new local streets should not typically intersect arterials. Local streets should typically intersect collectors. If it is necessary, as determined by ACHD, for a local street to intersect an arterial, the minimum allowable offset shall be 660-feet as measured from all other existing roadways as identified in Table 1a (7205.4.6).

Collector Offset Policy: District policy 7206.4.5, states that the preferred spacing for a new local street intersecting a collector roadway to align or offset a minimum of 330-feet from any other street (measured centerline to centerline).

Local Offset Policy: District policy 7207.4.2, requires local roadways to align or provide a minimum offset of 125-feet from any other street (measured centerline to centerline).

c. Applicant's Proposal: The applicant is proposing to construct one new local street, Milestone Avenue, to intersect Floating Feather Road located 660-feet west of SH-16 and 675-feet east of Worsley Lane, a private road.

The applicant is proposing to construct all internal local streets to align or offset a minimum of 125-feet.

d. Staff Comments/Recommendations: The applicant's proposal to construct one new local street, Milestone Avenue, to intersect Floating Feather Road located 660-feet west of SH-16 and 675-feet east of Worsley Lane meets District policy and should be approved as proposed.

The applicant's proposal to construct all internal local streets to align or offset a minimum of 125-feet meets District policy and should be approved, as proposed.

7. Stub Streets

a. Existing Conditions: There are no existing stub streets to or from the site.

b. Policy:

Stub Street Policy: District policy 7207.2.4.3 states that stub streets will be required to provide circulation or to provide access to adjoining properties. Stub streets will conform with the requirements described in Section 7207.2.4, except a temporary cul-de-sac will not be required if the stub street has a length no greater than 150-feet. A sign shall be installed at the terminus of the stub street stating that, "THIS ROAD WILL BE EXTENDED IN THE FUTURE."

In addition, stub streets must meet the following conditions:

- A stub street shall be designed to slope towards the nearest street intersection within the proposed development and drain surface water towards that intersection; unless an alternative storm drain system is approved by the District.
- The District may require appropriate covenants guaranteeing that the stub street will remain free of obstructions.

Temporary Dead End Streets Policy: District policy 7207.2.4.4 requires that the design and construction for cul-de-sac streets shall apply to temporary dead end streets. The temporary cul-de-sac shall be paved and shall be the dimensional requirements of a standard cul-de-sac. The developer shall grant a temporary turnaround easement to the District for those portions of the cul-de-sac which extend beyond the dedicated street right-of-way. In the instance where a temporary easement extends onto a buildable lot, the entire lot shall be encumbered by the easement and identified on the plat as a non-buildable lot until the street is extended.

c. Applicant Proposal: The applicant is proposing to construct 4 stub streets to the west in the following locations (measured centerline-to-centerline):

- Argon Street, located 210-feet north of Floating Feather Road
- Lilburn Street, located 600-feet north of Floating Feather Road
- Stillmore Street, located 990-feet south of Statesboro Street
- Statesboro Street, located 990-feet north of Stillmore Street

- d. **Staff Comments/Recommendations:** The applicant's proposal to construct the 4 stub streets meets District policy. However, the two stub streets, Argon Street and Lilburn Street located 210-feet and 600-feet north of Floating Feather Road are not required to be constructed, as the entrance roadway, Milestone Avenue, right-of-way will be extended to the site's west property line ensuring the adjacent out parcel to the west has access to a local street.

The applicant should be required to install a sign at the terminus of the two stub streets stating that, "THIS ROAD WILL BE EXTENDED IN THE FUTURE." A turnaround is not required for the stub streets as they do not extend greater than 150-feet in length.

8. Driveways

8.1 Floating Feather Road

- a. **Existing Conditions:** There is one existing driveway from the site onto Floating Feather Road located 351-feet west of SH-16.

b. **Policy:**

Access Policy: District Policy 7205.4.1 states that all access points associated with development applications shall be determined in accordance with the policies in this section and Section 7202. Access points shall be reviewed only for a development application that is being considered by the lead land use agency. Approved access points may be relocated and/or restricted in the future if the land use intensifies, changes, or the property redevelops.

District Policy 7206.1 states that the primary function of a collector is to intercept traffic from the local street system and carry that traffic to the nearest arterial. A secondary function is to service adjacent property. Access will be limited or controlled. Collectors may also be designated at bicycle and bus routes.

Driveway Location Policy (Stop Controlled Intersection): District policy 7206.4.4 requires driveways located on collector roadways near a STOP controlled intersection to be located outside of the area of influence; OR a minimum of 150-feet from the intersection, whichever is greater. Dimensions shall be measured from the centerline of the intersection to the centerline of the driveway.

Successive Driveways: District policy 7206.4.5 Table 1, requires driveways located on collector roadways with a speed limit of 40 MPH and daily traffic volumes greater than 100 VTD to align or offset a minimum of 285-feet from any existing or proposed driveway.

Minor Improvements Policy: District Policy 7203.3 states that minor improvements to existing streets adjacent to a proposed development may be required. These improvements are to correct deficiencies or replace deteriorated facilities. Included are sidewalk construction or replacement; curb and gutter construction or replacement; replacement of unused driveways with curb, gutter and sidewalk; installation or reconstruction of pedestrian ramps; pavement repairs; signs; traffic control devices; and other similar items.

- c. **Applicant's Proposal:** The applicant is proposing to close the existing driveway from the site onto Floating Feather Road located 351-feet west of SH-16 with sidewalk and landscaping.
- d. **Staff Comments/Recommendations:** The applicant's proposal to close the existing driveway onto Floating Feather Road located 351-feet west of SH-16 meets District policy; however, the

driveway should be closed with vertical curb, gutter and 5-foot wide detached or 7-foot wide attached concrete sidewalk.

9. Traffic Calming

- a. **Speed Control and Traffic Calming Policy:** District policy 7207.3.7 states that the design of local street systems should discourage excessive speeds by using passive design elements. If the design or layout of a development is anticipated to necessitate future traffic calming implementation by the District, or the streets extend greater than 750-feet in length, then the District will require changes to the layout and/or the addition of passive design elements such as horizontal curves, bulb-outs, chokers, etc. The District will also consider texture changes to the roadway surface (i.e. stamped concrete) as a passive design element. These alternative methods may require maintenance and/or license agreement.
- b. **Staff Comments/Recommendations:** There are several local roads proposed that are greater than 750-feet in length and will need to be redesigned to the reduce the length of the roadways or to include the use of passive design elements. Although Milestone Avenue is longer than 750-feet in length, this roadway is designed and will function as a collector street with no proposed front on housing and the applicant has proposed to construct five islands along the roadway which are considered a passive design element per ACHD policy. However, staff recommends that a bulb-out be constructed at the intersection of Milestone Avenue and Chamblee Street intersection to provide additional traffic calming. The applicant will be required to provide a minimum of 24-feet of pavement between the bulb-outs at the intersection, as measured from face-of-curb to face-of-curb.

The following roadways greater than 750-feet in length that require redesign or passive design elements are as follows:

- Stillmore Street
- Sugar Hill Street
- Stock Bridge Street
- Maysville Street

Speed humps/bumps and valley gutters will not be accepted as traffic calming.

The applicant should be required to submit a revised preliminary plat showing the redesigned roadways for review and approval prior to plan approval and ACHD's signature on the first final plat.

10. Tree Planters

Tree Planter Policy: Tree Planter Policy: The District's Tree Planter Policy prohibits all trees in planters less than 8-feet in width without the installation of root barriers. Class II trees may be allowed in planters with a minimum width of 8-feet, and Class I and Class III trees may be allowed in planters with a minimum width of 10-feet.

11. Landscaping

Landscaping Policy: A license agreement is required for all landscaping proposed within ACHD right-of-way or easement areas. Trees shall be located no closer than 10-feet from all public storm drain facilities. Landscaping should be designed to eliminate site obstructions in the vision triangle at intersections. District Policy 5104.3.1 requires a 40-foot vision triangle and a 3-foot height restriction on all landscaping located at an uncontrolled intersection and a 50-foot offset from stop signs. Landscape plans are required with the submittal of civil plans and must meet all District requirements prior to signature of the final plat and/or approval of the civil plans.

12. Other Access

Floating Feather Road is classified as a collector roadway. Other than the access specifically approved with this application, direct lot access is prohibited to this roadway and should be noted on the final plat.

D. Site Specific Conditions of Approval

1. Prior to ACHD's signature on the first final plat, submit a revised preliminary plat showing the redesigned roadways to reduce the length of the roadways or to include the use of passive design elements for review and approval:
 - Stillmore Street
 - Sugar Hill Street
 - Stock Bridge Street
 - Maysville Street

Speed humps/bumps and valley gutter will not be accepted as traffic calming.

2. Construct Floating Feather Road as ½ of a 36-foot wide collector street section with vertical curb, gutter and 5-foot wide detached or 7-foot wide attached concrete sidewalk abutting the site from the site's west property line east and abutting a portion of Lot 11 Block 4, as depicted in blue on page 9, Section 3d., dedicate right-of-way for the cul-de-sac from centerline of Floating Feather Road and provide a road trust deposit in the amount of \$13,800 for the future construction of the cul-de-sac. Dedicate right-of-way to 2-feet behind back of sidewalk abutting the site. For detached sidewalk the applicant may reduce the right-of-way width to 2-feet behind back of curb and provide a permanent right-of-way easement that extends from the right-of-way line to 2-feet behind back of sidewalk.
3. Construct the entrance roadway, Milestone Avenue, from Floating Feather Road north through the site to intersect Stillmore Street with two 21-foot wide travel lanes, five 10-foot wide center landscape islands, vertical curb, gutter, an 8-foot wide planter strip within 60-feet of right-of-way and 5-foot wide detached concrete sidewalk located outside of the right-of-way. For detached sidewalk the applicant may reduce the right-of-way width to 2-feet behind back of curb and provide a permanent right-of-way easement that extends from the right-of-way line to 2-feet behind back of sidewalk.
4. Construct a bulb-out at the Milestone Avenue/Chamblee Street intersection with a minimum pavement width of 24-feet between the bulb-outs at the intersection; measured from face-of-curb to face-of-curb.
5. Extend the right-of-way for the entrance roadway, Milestone Avenue, to the site's west property line to ensure that the adjacent out parcel to the west has access to a local street and enter into a license agreement for any landscaping located within the right-of-way.
6. Plat the center islands as right-of-way owned by ACHD. The applicant or homeowner's association should enter into a license agreement for any landscaping proposed within the island.
7. Provide a permanent right-of-way easement to 2-feet behind back of sidewalk for any sidewalk placed outside of the dedicated right-of-way. If the sidewalk is detached, then the right-of-way should extend a minimum of 2-feet behind the back of curb.
8. Construct the cul-de-sac turnaround at the terminus of Dry Branch Place with a minimum turning radius of 50-feet.